

**SAUSALITO PLANNING COMMISSION
RESOLUTION NO. 2023-13**

**APPROVAL OF A DESIGN REVIEW PERMIT AND TO REPLACE THE EXISTING
40'X81' STEEL FRAMED BUILDING WITH A NEW 40'X81' METAL BUILDING WITH A
NEW MAX BUILDING HEIGHT PROPOSED AT 32' AT 170 GATE 5 RD
(DR 2018-00405)**

WHEREAS, an application has been filed by applicant and property owner Dan Morgan requesting Planning Commission approval of a Design Review Permit to replace an existing 40' x 81' steel building with a new 40' x 81' steel building at 170 Gate 5 Rd (APN 063-152-07) ("the Project"); and

WHEREAS, the project site is located within the General Plan Industrial land use designation and the Industrial Marinship District (I) zoning district; and

WHEREAS, the Historic Preservation Commission reviewed the Historic Resource Determination Information Packet (HRDIP) on July 21, 2022, and determined that the subject property does not satisfy any of the qualifying criteria for a historical resource; and

WHEREAS, the Sea level Rise Task Force assessed the Project relative to the potential impacts of sea level rise and on January 15, 2023, issued a Sea Level Rise Project Assessment finding that the project should provide for an estimated high water level of el. 13.09' in 2090 and the project is designed to adapt to a finished floor level of el. 14.6' consistent with Task Force recommendations based on State Planning Guidance (OPC 2018); and

WHEREAS, the Planning Commission conducted a duly-noticed public hearings on March 1 and July 26, 2023, at which time all interested persons were given an opportunity to be heard; and

WHEREAS, the Planning Commission has reviewed and considered the project plans titled "170 Gate Five Road; Design Review Application", "Grading and Drainage Plan; 170 Gate Five Road", and Landscape and Irrigation Plans, all received July 14, 2023, and considered the information and attachments contained in the staff reports as well as any and all oral and written testimony on the proposed Project; and

WHEREAS, the Planning Commission finds that the Project, as conditioned herein, is consistent with the General Plan and complies with the requirements of the Zoning Ordinance as described in the staff report; and

WHEREAS, approval of the Project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15302(b); (Replacement of Commercial Structures).

NOW, THEREFORE, THE PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

1. The Project is categorically exempt from the requirements of CEQA pursuant to CEQA Guidelines Section 15301(b); *Replacement of a commercial structure with a new structure of substantially the same size, purpose, and capacity.*

2. The Design Review Permit for the Project is approved based upon the attached findings (Exhibit 1), subject to the attached conditions of approval (Exhibit 2), and as shown in the project plans titled "170 Gate Five Road; Design Review Application", "Grading and Drainage Plan; 170 Gate Five Road", and Landscape and Irrigation Plans, all received July 14, 2023 (Exhibit 3).
3. The Nonconformity Permit for the Project is approved based upon the attached findings (Exhibit 1), subject to the attached conditions of approval (Exhibit 2), and as shown in the project plans titled "170 Gate Five Road; Design Review Application", "Grading and Drainage Plan; 170 Gate Five Road", and Landscape and Irrigation Plans, all received July 14, 2023 (Exhibit 3).

RESOLUTION PASSED AND ADOPTED, at the regular meeting of the Sausalito Planning Commission on the 26th day of July 2023 by the following vote:

AYES:	Commissioner:	Saad, Junius, Feller, Graef, Luxenberg
NOES:	Commissioner:	None
ABSENT:	Commissioner:	None
ABSTAIN:	Commissioner:	None



Brandon Phipps
Secretary to the Planning Commission

Exhibits

- 1 Findings
- 2 Conditions of Approval
- 3 Project Plans

SAUSALITO PLANNING COMMISSION RESOLUTION NO. 2023-13

July 26, 2023

170 GATE FIVE ROAD

DR 2018-00405

EXHIBIT 1

**FINDINGS FOR APPROVAL OF A DESIGN REVIEW PERMIT
AND NONCONFORMITY PERMIT**

Design Review Permit Findings

In order to approve or conditionally approve the Design Review Permit, the Planning Commission must determine whether the project is in conformance with the required Design Review Findings in Section 10.54.050 of the Sausalito Municipal Code (SMC) 10.54.050. The required finding is provided in *italics* below, with staff analysis following the required finding.

- A. *The proposed project is consistent with the General Plan, any applicable specific plans and this chapter.*

The Project is consistent with all applicable policies, standards, and regulations of the General Plan, the Marinship Specific Plan, and Zoning Ordinance as analyzed in the staff report.

- B. *The proposed architecture and site design complements the surrounding neighborhood and/or district by either: a) Maintaining the prevailing design character of the neighborhood and/or district or b) Introducing a distinctive and creative solution which takes advantage of the unique characteristics of the site and contributes to the design diversity of Sausalito.*

The surrounding industrial area is characterized by a combination of one- and two-story buildings, with many of the one-story buildings being tall with high ceiling and large interior spaces to accommodate industrial uses and activities. The project's design is consistent with the diversity of building styles in the neighborhood. The grey metal siding, dark bronze roofing, and large vertical windows will be complementary to the aesthetics of the site and surrounding properties.

- C. *The proposed project's use is consistent with the general scale of structures and buildings in the surrounding neighborhood and/or district.*

The surrounding industrial area is characterized by a combination of one- and two-story buildings, with many of the one-story buildings being tall with high ceiling and large interior spaces to accommodate industrial uses and activities. The proposed structure will be "tucked" into the rear portion of the property and surrounded by similar industrial structures. While the peak of the proposed building will nearly maximize the permitted height limit, the roof slope down, reducing the perception of bulk and complementing the scale of the adjacent structure. The Project remains consistent with the general scale of structures and buildings in the surrounding neighborhood.

- D. *The proposed project has been located and designed to minimize obstruction of public views and primary views from private property.*

The proposed structure will be “tucked” to the rear of the property and surrounded by industrial structures, the proposed project will be visually unobtrusive and private views will not be affected. The Marinship Specific Plan identifies nearby View Corridors D (Coloma Street right-of-way) and E (View to Bay from Varda Landing) as Prioritized Corridors. However, the Project as proposed does not affect these view corridors.

- E. The proposed project will not result in a prominent building profile (silhouette) above a ridgeline.*

Due to location of the site within the flats of the Marinship area the Project will not result in a prominent building profile above a ridgeline. The height of the proposed building is proportional to its width and footprint.

- F. The proposed landscaping provides appropriate visual relief, complements the buildings and structures on the site, and provides an attractive environment for the enjoyment of the public.*

While the site is largely built out with structures and paving, the Project will provide new landscape treatments at the front entry and around the west and north perimeter of the structure. The proposed landscaping will provide appropriate visual relief within the industrial environment and complements the buildings and structures on the site. While the proposed structure will be “tucked” into the rear portion of the property, largely out of view of the general public, the proposed landscaping will provide an attractive environment for the enjoyment of the employees and the public visiting the site.

- G. The design and location of buildings provide adequate light and air for the project site, adjacent properties, and the general public.*

The design of the remodel and addition have been designed to minimize impact on light and air for the project site, adjacent properties, and the general public. The nearby building at 90 Gate 5 Road is a lower structure, due to both a lower grade level and low building height. The building is suited for heavy industrial uses such as shop work and car repair and the yard area in questions appears to provide for both storage and outdoor working space. While the increase in the building height will have some impact to the yard area in the southwest corner of the property, the project does not result in an unreasonable impact to light, air or privacy, given the industrial character of the adjoining spaces and uses.

- H. Exterior lighting, mechanical equipment, and chimneys are appropriately designed and located to minimize visual, noise, and air quality impacts to adjacent properties and the general public.*

The proposed structure replaces an existing industrial structure and will be “tucked” to the rear of the property, surrounded by industrial structures, The lighting and mechanical equipment will be required to minimize visual, noise, and air quality impacts to adjacent properties and the public. There is no chimney proposed on the building.

- I. The project provides a reasonable level of privacy to the site and adjacent properties, taking into consideration the density of the neighborhood, by appropriate landscaping, fencing, and window, deck, and patio configurations.*

The proposed structure replaces an existing industrial structure and will be “tucked” to the rear of the property, surrounded by industrial structures. The Project will retain existing fencing and will utilize new landscaping to provide a reasonable level of privacy to the site and surrounding industrial structures and uses. The nearby building at 90 Gate 5 Road is a lower structure, due to both a lower grade level and low building height. The building is suited for heavy industrial uses such as shop work and car repair and the yard area in questions appears to provide for both storage and outdoor working space. While the increase in the building height will have some impact to the yard area in the southwest corner of the property, the project does not result in an unreasonable impact to light, air or privacy, given the industrial character of the adjoining spaces and uses.

- J. *Proposed entrances, exits, internal circulation, and parking spaces are configured to provide an appropriate level of traffic safety and ease of movement.*

The Project will maintain all on-site parking spaces that currently exist, and they will remain in their current location.

- K. *The proposed design preserves protected trees and significant natural features on the site to a reasonable extent and minimizes site degradation from construction activities and other potential impacts.*

The Project has been redesigned so that no protected trees will be altered or removed as part of the Project.

- L. *The project site is consistent with the guidelines for heightened review for projects which exceed 80 percent of the maximum allowed floor area ratio and/or site coverage, as specified in subsection E of this section (Heightened Review Findings)*

The project does not add floor area or coverage to the site.

- M. *The project has been designed to ensure on-site structures do not crowd or overwhelm structures on neighboring properties. Design techniques to achieve this may include but are not limited to stepping upper levels back from the first level, incorporating façade articulations and divisions (such as building wall off-set), and using varying rooflines.*

The surrounding industrial area is characterized by a combination of one- and two-story buildings, with many of the one-story buildings being tall with high ceiling and large interior spaces to accommodate industrial uses and activities. The proposed structure will be “tucked” into the rear portion of the property and surrounded by similar industrial structures. While the peak of the proposed building will nearly maximize the permitted height limit, the gable roof reduces the perception of bulk and complements the scale of the adjacent structure. The Project remains consistent with the general scale of structures and buildings in the surrounding neighborhood.

Nonconformity Permit Findings

In order to approve or conditionally approve the Nonconformity Permit to allow replacement of the building in excess of the allowed 40% site coverage and 0.40 FAR and without providing additional parking to meet the full parking standard for all uses on the site, the Planning Commission must determine whether the project is in conformance with the required Nonconformity Permit Findings in Section 10.62.070.G of the Sausalito Municipal Code (SMC). The required finding is provided in *italics* below, with staff analysis following the required finding.

1. *Plans that document the nonconforming zoning entitlement being requested are on file with the city or an evidentiary public hearing has been held to document the existence and extent of requested nonconforming zoning entitlement.*

The structure was constructed in circa 1950 and other existing structures on the site thereafter. This established floor area, coverage, and site parking arrangement were rendered non-conforming by the adoption of the Marinship Specific Plan (1988) and previous updates to the zoning ordinance.

2. *The existing nonconforming use and/or structure has not resulted in a notable negative impact or nuisance to the surrounding properties and district (i.e., excessive parking demand, traffic, noise, view obstruction, etc.).*

The use of the site and building for approved industrial uses has not resulted in notable negative impacts to surrounding uses. Recent observations do not indicate that the parking demand exceeds the current supply.

3. *The nonconforming use or structure is not incompatible with the general character of the surrounding neighborhood or district.*

The surrounding industrial area is characterized by a combination of one- and two-story buildings, with many of the one-story buildings being tall with high ceiling and large interior spaces to accommodate industrial uses and activities. The proposed structure will be "tucked" into the rear portion of the property and surrounded by similar industrial structures. While the peak of the proposed building will nearly maximize the permitted height limit, the gable roof reduces the perception of bulk and complements the scale of the adjacent structure. The Project remains consistent with the general scale of structures and buildings in the surrounding neighborhood.

4. *If the application is for a nonconforming use, the nonconforming use will contribute to the social and economic vitality of the district or will otherwise benefit the public health, safety and welfare.*

The application is to replace a non-conforming structure. The continued industrial use of is consistent with the Industrial Marinship zoning.

5. *The requested action will not be inconsistent with the purpose and intent of the zoning district.*

The application is to replace a non-conforming structure. The continued industrial use of is consistent with the Industrial Marinship zoning district and will serve to maintain the industrial character of the site and surrounding area.

6. *If it is a nonconforming structure, the applicant has reduced the nonconformities to an extent reasonably practicable.*

The project replicates the current amount of industrial square footage on the site and does not reduce parking or otherwise affect circulation in and around the area. Any

further reduction of industrial use on the site would only serve to increase the proportion of office on the property.

7. *For nonconformity permits that trigger conformance with current parking requirements pursuant to Table 10.62-1, the Planning Commission may waive the current parking requirement and allow the maintenance of the existing nonconforming parking entitlements through the grant of the nonconformity permit, if the Commission finds that (a) it is not practicable to provide parking on site in a manner that preserves neighborhood character, and (b) for substantial replications, the provision of the required parking would be in conflict with the replication of the structure, and (c) preserving the nonconforming parking entitlements is the best solution to be consistent with the goals, policies and intent of the general plan.*

The site currently provides 30 parking spaces between both on-site and adjacent parking lots, where 32 spaces are required. The parking requirement is waived as the addition of more parking onto the site would be impracticable (given the limited available area) and would simply reduce the availability of industrial services and landscaped area. Further, the project will provide additional bicycle parking to encourage alternative modes of transportation. The limited site parking would serve to better assure that the building is occupied by a low demand industrial use as intended under the General Plan and Marinship Plan.

SAUSALITO PLANNING COMMISSION RESOLUTION NO. 2023-13

July 26, 2023

170 GATE FIVE ROAD

DR 2018-00405

EXHIBIT 2: CONDITIONS OF APPROVAL

These conditions apply to the project plans prepared by Stewart Summers, entitled "Bee Street Residence", date-stamped February 23, 2022 (Attachment 3).

COMMUNITY DEVELOPMENT DEPARTMENT - PLANNING DIVISION CONDITIONS OF APPROVAL:

General Items:

1. As part of the building permit application, all final Conditions of Approval shall be restated on the construction drawings and applicant shall thoroughly and accurately document in writing compliance with each Condition of Approval at the time of building permit application and any other subsequent submittals.
2. The project shall be designed and constructed as shown in the set of plans titled "170 Gate Five Road; Design Review Application", "Grading and Drainage Plan; 170 Gate Five Road", and Landscape and Irrigation Plans, all received July 14, 2023, with the following modifications:
 - a. The upper windows on the rear (north) elevation, above the level of the eave line of the adjacent building at 160 Gate 5 Road, shall be constructed of opaque or frosted glass.
 - b. Prior to the issuance of building permits, A solid 8-foot high fence shall be installed along the length of the rear (north) property line, beginning at the northeast corner of the new structure to the northwest corner of the property.
3. Prior to the issuance of building permits, the applicant shall provide final grading, drainage, and landscaping plans depicting the west side access path and bike parking facilities, as shown on the site plan on page A2 of the Architectural Plans titled "170 Gate Five Road; Design Review Application" dated July 14, 2023, for review and approval by the Community Development Director.
4. Building permit plans shall include details for installation of no less than three (3) "Upside-down U" bicycle parking mounts.
5. Conditions applicable to protection of trees on the project site:

- a) Before the start of any clearing, excavation, construction or other work on the site, every protected tree deemed to be endangered by the work shall be securely fenced off at the "protected perimeter," which shall be either the outer limits of the branches of such protected tree (the drip line) or such greater limits as may be established by the reviewing agency. Such fences shall remain in place for the duration of all such work. All protected trees to be removed shall be clearly marked. A plan shall be established for the removal and disposal of logs, brush, earth, and other debris which will avoid injury to any protected tree.
 - b) Where proposed development or other site work is to encroach upon the protected perimeter of any protected tree, special measures shall be incorporated to allow the roots to breathe and obtain water and nutrients. Any excavation, cutting, filling, or compaction of the existing ground surface within the protected perimeter shall be minimized. No asphalt or other paving materials shall be added. No change in existing ground levels shall occur within four feet of the base of any protected tree at any time. No burning or use of equipment with an open flame shall occur near or within the protected perimeter.
 - c) No storage or dumping of oil, gas, chemicals, or other substances that may be harmful to trees shall occur within the protected perimeter of any protected trees, or any other location on the site from which such substances might enter the protected perimeter. No heavy construction equipment or construction materials shall be operated or stored within the protected perimeter. Wires shall not be attached to any protected tree, except as needed for support of the tree. No sign, other than a tag showing the botanical classification, shall be attached to any protected tree.
 - d) Periodically during construction, the leaves of the protected trees shall be thoroughly sprayed with water to prevent buildup of dust and other pollution that would inhibit transpiration.
 - e) If any damage to a protected tree should occur during or as a result of work on the site, the contractor, builder, or owner shall promptly notify the City of such damage. If such a protected tree cannot be preserved in a healthy state, the reviewing agency shall require replacement of any protected tree removed with another tree or trees on the same site deemed adequate to compensate for the loss of the tree that is removed.
6. Exterior lighting shall be shielded and downward facing.
7. The Applicant/Property Owners shall defend, indemnify (including reimbursement of all fees and costs reasonably incurred by separate counsel retained by the City), and hold harmless the City and its elected and appointed officials, officers, agents and employees, from and against any and all liability, loss, damage, or expense, including without limitation reasonable attorney's fees which City may suffer or incur as a result of any claims relating to or arising from the City's approval of the project or any portion of the project.
8. In the event that any condition imposing a fee, exaction, dedication, or other mitigation measure is challenged by the project sponsors in an action filed in a court of law or threatened to be filed therein which action is brought within the time period provided by law, this approval shall be suspended pending dismissal or final resolution of such action. If any condition is invalidated by a court of law, the entire project shall be reviewed by the City and substitute conditions may be imposed.

9. All applicable City fees as established by City Council resolutions and ordinances shall be paid. Third party review fees (cost plus 9%) shall be paid.
10. Pursuant to Sausalito Municipal Code Section 10.50.120 (Implementation of Permits), it shall be the applicant's responsibility to diligently proceed to carry out the Conditions of Approval and implement any approved permit. This shall include establishing the approved use/implementing the permit within the time limits set forth by the applicable chapter.
11. The Design Review Permit shall expire two years following the effective date of the permit if the project entitlement has not been implemented, provided no extension has been filed prior to the expiration date. The project entitlement pursuant to the Design Review Permit is determined to be implemented if the applicable conditions of approval prerequisite to construction have been satisfied and any required construction permits have been issued.
12. Any mechanical equipment installed in connection with this project shall be subject to Sausalito Municipal Code Section 12.16.130 - Machinery, equipment, fans, and air conditioning.

At the time of building permit application, the applicant shall file a reasonable estimate of the value of the project, and based thereon, a construction time limit shall be established for the project in accordance with the criteria set forth in Sausalito Municipal Code Section 10.54.100. The applicant shall submit information reasonably requested by the Community Development Director to support the estimated value of the project. Such documentation may include without limitation an executed construction contract. The time for completion of the construction shall also be indicated on the construction permit. For projects exceeding \$500,000 in project valuation, a detailed GANTT chart (or other graphic display acceptable to the Community Development Director) depicting the sequence of steps necessary for completion of the project, including detailed information on the critical path of the project, duration of critical tasks, and predicted inspection dates, shall be submitted prior to the issuance of any construction permit. Once approved, the property owner shall provide the City with written quarterly job progress reports consistent with the approved chart.

DEPARTMENT OF PUBLIC WORKS CONDITIONS OF APPROVAL:

General Items

1. As part of the Building Permit application, all final Conditions of Approval shall be restated on the construction drawings and applicant shall thoroughly and accurately document in writing compliance with each Condition of Approval at the time of Building Permit application and any other subsequent submittals.

Right of Way Items

2. Applicant shall repair or replace, at no expense to the City, damage to public facilities that results from applicant's construction activities. Applicant is advised that applicant's contractor shall save and protect all existing facilities not designated for removal or modification within the public right of way.

Engineering Items

3. Emergency vehicle access and access to adjacent properties shall be maintained at all times throughout the duration of this project.
4. Construction workers shall be prohibited from using on-street parking in the vicinity of the project and the applicant shall lease, or otherwise provide, an adequate number of parking spaces in a City parking lot to provide parking for construction workers. Workers shall carpool to the construction site which shall be documented on the construction staging plan.
5. An encroachment permit shall be obtained from the DPW prior to using the public right of way for non-public purposes (e.g., material storage, construction, staging or demolition) including any and all construction and demolition activities. Encroachment submittal information can be found here: <https://www.sausalito.gov/departments/public-works/engineering-division/encroachment-permits>.
6. Applicant shall ensure that construction materials, equipment, vehicles, and properly-permitted debris boxes (Bay Cities Refuse Service is the sole authorized solid waste hauler permitted to provide debris box service in the City of Sausalito) is not placed in a manner that poses a traffic hazard, and is placed to minimize obstruction of roads and gutters, and is equipped with reflectors or lighting to ensure visibility at night and in inclement weather (if placed in the public right of way), and is maintained in a clean and safe condition, and not maintained in a manner that becomes a nuisance to the neighborhood. Debris boxes shall be emptied on a regular basis, or as directed by the City. Material stockpiles & debris boxes shall be covered when not being accessed or filled to prevent dust or liquid from being released to the environment. Construction materials, equipment, vehicles, and debris boxes shall be placed in the public right of way only after securing an encroachment permit.
13. Applicant shall ensure best management practices (BMPs) are used during construction activity. This includes erosion and sediment controls and pollution prevention practices. Erosion control BMPs may include, but are not limited to, scheduling and timing of grading activities, timely re-vegetation of graded areas, the use of hydroseed and hydraulic mulches, and installation of erosion control blankets. Sediment control may include properly sized detention basins, dams, or filters to reduce entry of suspended sediment into the storm drain system and watercourses, and installation of construction entrances to prevent tracking of sediment onto adjacent streets. Pollution prevention practices may include: designated washout areas or facilities, control of trash and recycled materials, covering of materials stored on-site, and proper location of and maintenance of temporary sanitary facilities. The combination of BMPs used, and their execution in the field, must be customized to the site using up-to-date standards and practices. You may refer to the Marin County Stormwater Pollution Prevention Program's website, https://www.marincounty.org/~media/files/departments/pw/mcstoppp/development/erosionsediment-control-measures-for-small-construction-projects-_2015.pdf?la=en

Advisory Notes

Advisory notes are provided to inform the applicant of Sausalito Municipal Code requirements, and requirements imposed by other agencies. These requirements include, but are not limited to, the items listed below.

12. An approval granted by the Engineering Division of the Department of Public Works does not constitute a building permit or authorization for construction. Appropriate construction

permit(s) issued by the Building Division must be obtained prior to construction.

13. Pursuant to Municipal Code Chapter 8.54, applicants shall submit a Recycling Management Plan to the Community Development Department prior to the issuance of any Building Permits, unless the requirement is waived pursuant to Section 8.54.050.
14. Pursuant to Municipal Code Chapter 11.17, dumping of residues from washing of painting tools, concrete trucks and pumps, rock, sand, dirt, agricultural waste, or any other materials discharged into the City storm drain system that is not composed entirely of storm water is prohibited. Liability for any such discharge shall be the responsibility of person(s) causing or responsible for the discharge. Violations constitute a misdemeanor in accordance with Section 11.17.060.B.
15. Pursuant to Municipal Code Section 12.16.140, the operation of construction, demolition, excavation, alteration, or repair devices and equipment within all residential zones and areas within a 500-foot radius of residential zones shall only take place during the following hours:

Weekdays – Between 8:00 a.m. and 6:00 p.m.
Saturdays – Between 9:00 a.m. and 5:00 p.m.
Sundays – Prohibited
Holidays officially recognized by the City of Sausalito not including Sundays – Prohibited

Homeowners currently residing on the property and other legal residents may operate the equipment themselves on Sundays and City holidays between 9:00 a.m. and 6:00 p.m.
16. Pursuant to City of Sausalito Resolution 5116, roadway and subdivision improvements shall comply with the Uniform Construction Standards All Cities and County of Marin and as may be modified by the City Engineer.
17. Improvements within the public right of way shall conform to the Cities and County of Marin "Uniform Construction Standards," available online at: <http://www.marincounty.org/depts/pw/divisions/land-use/ucs>.

SOUTHERN MARIN FIRE DISTRICT CONDITIONS OF APPROVAL:

Construction Conditions

1. Fire sprinkler system required in:

A fire sprinkler system shall be provided for:

- a. All new construction.
- b. Fire sprinkler coverage shall be provided through the entire structure according to Chapter 9 of the California Fire Code.
- c. Fire sprinkler system shall be installed according to NFPA 13 and Southern Marin Fire Standard 401.

- d. Plans for fire sprinkler system design and hydraulic calculations shall be completed by a licensed C-16 sprinkler contractor and submitted to the Southern Marin Fire District, Fire Prevention Bureau for approval prior to installation. Fire sprinkler system design and installation shall conform to the provisions of the Southern Marin Fire District Standard 401 and N.F.P.A. Standard(s) 13, 13D or 13R.
 - e. Commercial fire sprinklers and alarm systems shall be monitored 24/7 for fire and trouble by an approved U.L. Central Station.
- 2. Provide a U.L. listed key box as required by the Southern Marin Fire Protection District.
- 3. A vertical overhead clearance of 13' 6" shall be maintained free of obstructions above any roadbed (trees, brush, etc.).
- 4. The address shall be posted in accordance with requirements of the California Fire Code and SMFD standard 205 (Premises Identification).
- 5. This project shall comply with California Fire Code Chapter 33 – Fire Safety During Construction and Demolition. These requirements include but are not limited to: Temporary Heating Equipment, Precautions Against Fire, Flammable and Combustible Liquids, Flammable Gases, Owners Responsibility for Fire Protection, Fire Reporting, Access for Fire Fighting, Means of Egress, Water Supply for Fire Protection, Standpipes, Automatic Fire Sprinkler Systems, Portable Fire Extinguishers, Motorized Construction Equipment, and Safeguarding Roofing Operations.
- 6. Fire access to the project as well as the other surrounding properties shall be maintained at all times. Unapproved restrictions in roadway access shall result in citations and vehicles being towed at the owner's expense.

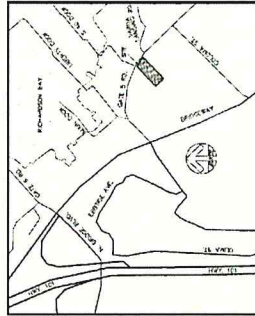
**SAUSALITO PLANNING COMMISSION NO. 2022-07
APRIL 20, 2022
SAUSALITO PLANNING COMMISSION RESOLUTION NO. 2023-13
MARCH 1, 2023
170 GATE FIVE ROAD
DR 2018-00405**

EXHIBIT 3: PROJECT PLANS

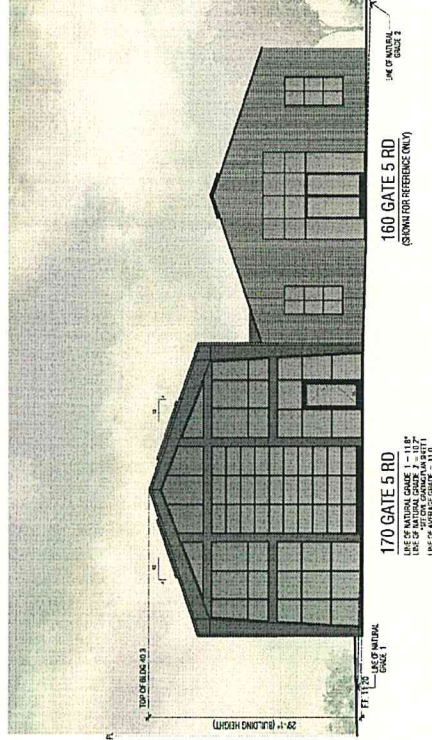
THE EXISTING BUILDING AT 170 GATE 5 ROAD IS A 40'x61' STEEL FRAMED BUTLER BUILDING WITH STEEL STUDS AND METAL ROOF ON A SLAB FOUNDATION. OVER THE YEARS THE FOUNDATION HAS SETTLED AND IS APPROXIMATELY 18" OUT OF LEVEL FROM HIGH TO LOW. IN ADDITION IT IS BADLY CRACKED AND HAS RALED

THE APPLICANT PROPOSES TO REPLACE THE EXISTING WALL STRUCTURE WITH A LAME AND A NEW CONCRETE WALL STRUCTURE ON A NEW STRUCTURAL CLAR FOUNDATION ON ENGINEERED NOT TO CRACK. IN ADDITION, TO INCREASE THE STRUCTURAL INTEGRITY OF THE NEW SLAB, THE THICKNESS WILL INCREASE THE INCREASED FLOOR OF THE STRUCTURE ABOVE THE 10 YEAR REPLACED FLOOR LEVEL TO 11.20 FEET (100 YEAR FLOOR IS TO 10 FEET). THE EXISTING WALLS WILL BE REPLACED AND A NEW FLOOR WILL BE SET-ASIDE BOTH WITH NEW MATERIAL. SHAPED TO THE MATERIAL USED IN OLD AGE'S FLOOR. THE COLOR-WALL VARY FROM OLD AGE TO NEW AGE. THE MAIN DIFFERENCE IS THE INCREASED MAXIMUM BUILDING HEIGHT OF 10.5 FEET. THE RECYCLING OF THE BUILDING AND THE ADJUSTMENT OF THE NEW SLAB WALL PANEL THE RIDGE APPROXIMATELY 3 FEET FROM THE RIDGE OF THE ROOF OF 100 YEAR 5.50 MTD.

A0	TITLE SHEET
A1	EXISTING CONDITIONS PHOTOGRAPHS
A2	EXISTING SITE MAP AND PROPOSED SITE MAP
A3	CONSTRUCTIVE STAGING SITE MAP
A4	EXISTING FLOOR PLAN & FOUNDATION PLAN
A5	PROPOSED FLOOR PLAN & ROOF PLAN
A6	EXISTING & PROPOSED BUILDING SECTIONS
A7	PROPOSED EXTERIOR ELEVATIONS
A8	EXISTING PROPOSED EXTERIOR ELEVATIONS
A9	STORY POLE PLAN
A10	FUTURE AND CURRENT FLOOD LEVELS
A11	PERSPECTIVE RENDERINGS
A12	SEA LEVEL RISE ADAPTATION EXHIBIT
A13	SEA LEVEL RISE ADAPTATION EXHIBIT
A14	SEA LEVEL RISE ADAPTATION EXHIBIT



VICINITY MAP



170 GATE 5 ROAD

DESIGN REVIEW APPLICATION

170 GATE 5 ROAD
SAUSALITO, CALIFORNIA

APN 063-152-07

OWNER:	MORGAN PROPERTIES 150 GATE 5 ROAD, SUITE 100 SAUSALITO, CA 94065 (415) 515-2179
ADDRESS :	170 GATE 5 ROAD SAUSALITO, CA
OCCUPANCY:	DISTING - M & B PROPOSED - 8
CONSTRUCTION TYPE:	TYPED UP BUILDING TO BE EQUIPPED WITH FIRE SPRINKLERS
PARKING	11 PARKING SPACES ON SITE 11 PARKING SPACES THROUGH EXISTENT REAR THE EXISTING SPRINKLES DOCUMENT 2013 0055161

PROJECT SUMMARY TABLE

PROJECT ADDRESS	170 GATE 5 ROAD
NO OF STORIES	SINGLE STORY
BLDG AREA	3,207 S.F.

[illegible]

Received 12 November 2003; accepted 12 November 2003; published online 12 November 2003

RECEIVED 7/14/2023



MORGAN
PROPERTIES, INC.
2658 Bridgeway, Suite 100
Sausalito, CA

100
 90
 80
 70
 60
 50
 40
 30
 20
 10
 0

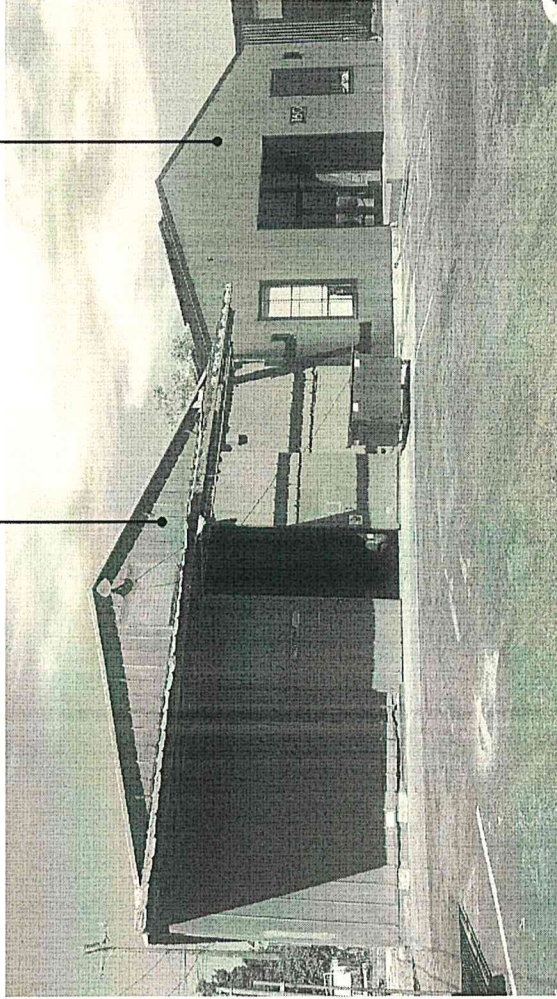
APN: 063-152-07
SAUSALITO, CA

© 2023 WILLIAM HEZMAI HALCH ARCHITECTS INC. DBA WHA. | 2021051 | 06-22-23

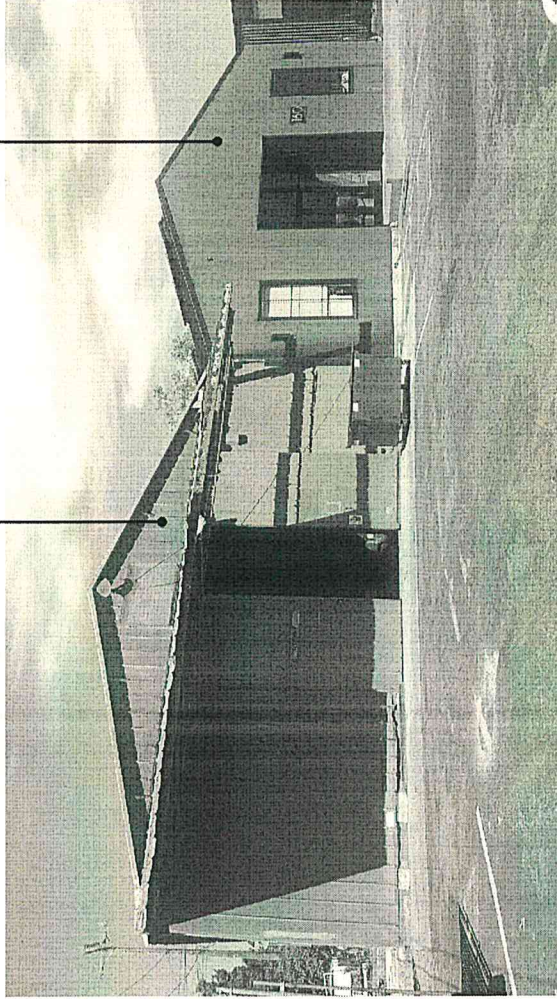
© 2001 Blackwell Science Ltd, *Journal of Internal Medicine* 250: 105–112

ALBERT EINSTEIN

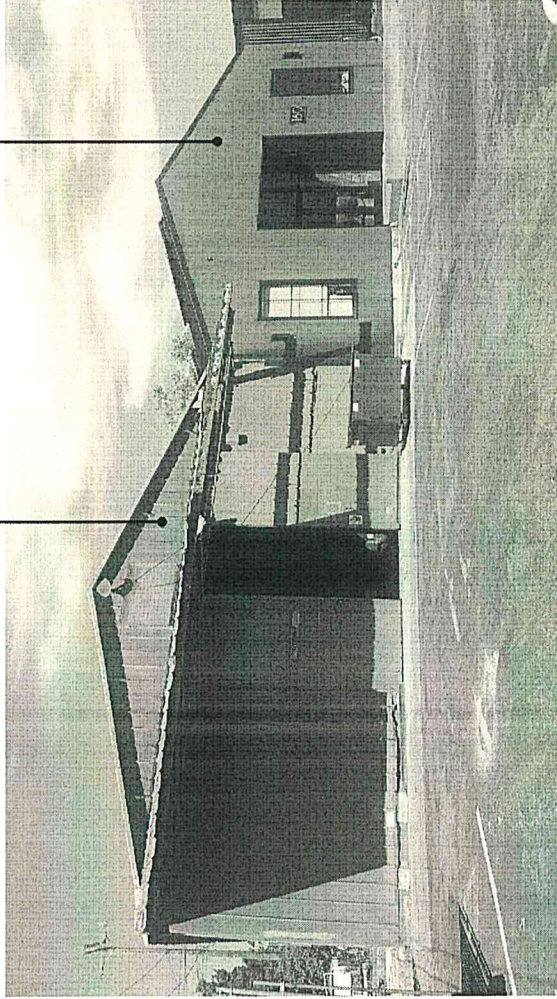
170 Gate 5 Road



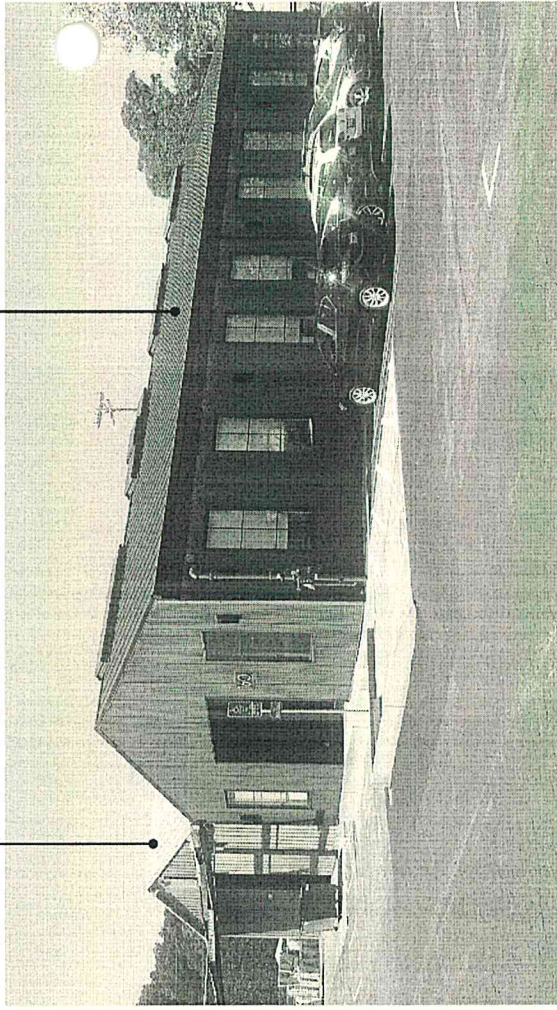
160 Gate 5 Road



170 Gate 5 Road

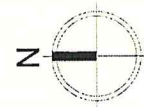


160 Gate 5 Road



Existing Condition Photographs

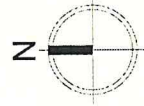
170 GATE 5 ROAD



PROPOSED SITE PLAN

(REFER TO SHEET A3 FOR
CONSTRUCTION STAGING)

NOTE: DRAINAGE GRADING AND LANDSCAPING TO BE COORDINATED.

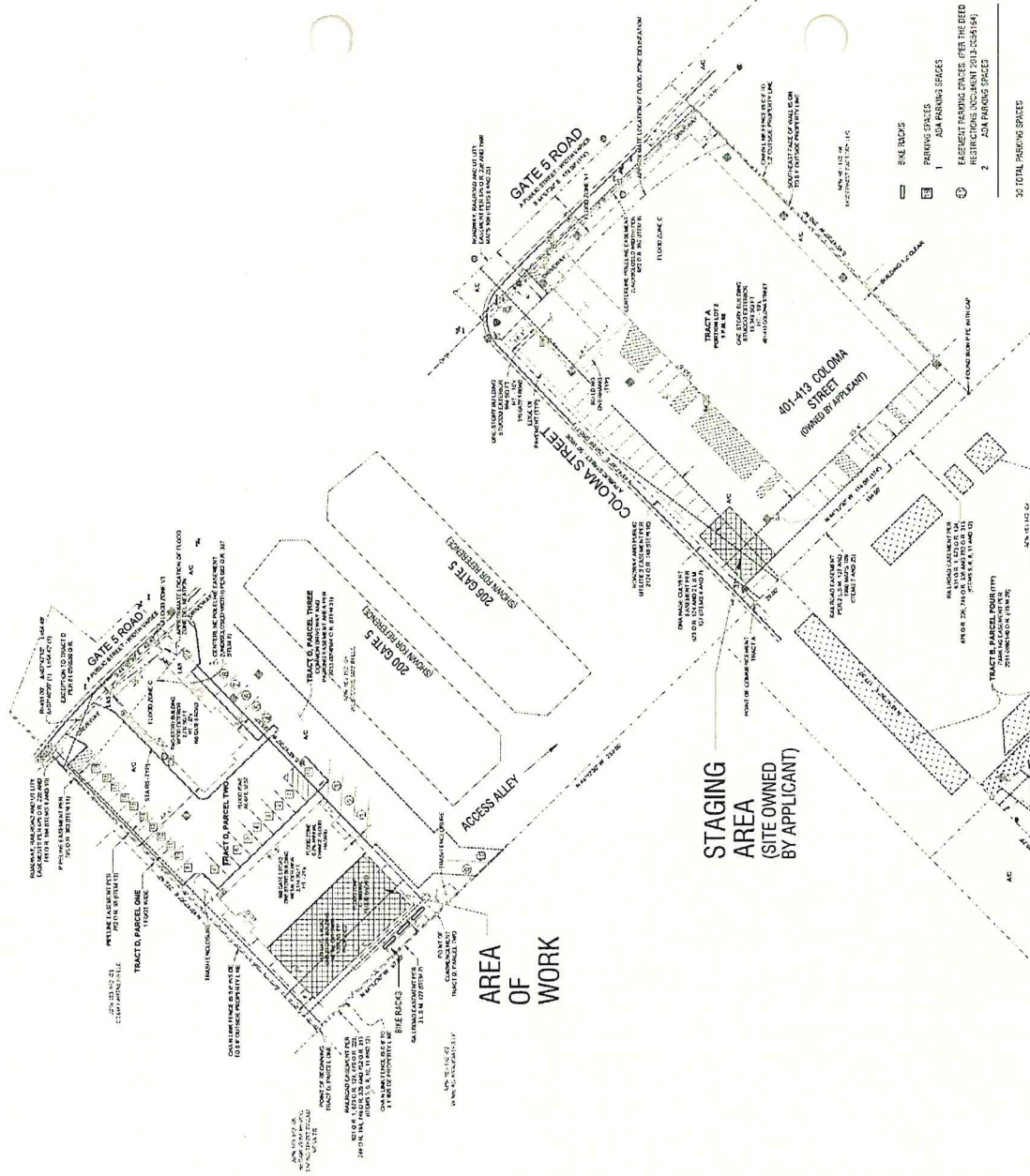
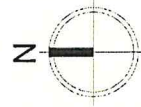


EXISTING SITE PLAN

- BIKE RACKS
PARKING SPACES
EASEMENT PLACEMENT RESTRICTIONS

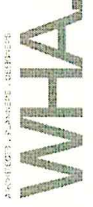
TOTAL PARKING SPACES

CONSTRUCTION STAGING SITE PLAN



170 GATE 5 ROAD

A3



MORGAN
ROBERTS
2658 Bridgeway, Suite 100
Sausalito, CA

APN: 063-152-07
SAUSALITO, CA

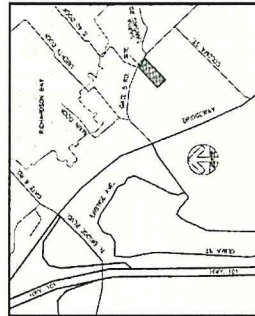
© 2023 WILLIAM HAZARD ARCHITECTS, INC. DBA WHA. | 2023.051 | 06-22-23

THE EXISTING BUILDING AT 170 GATE 5 ROAD IS A 40'-6" STEEL FRAMED BUTLER BUILDING WITH STEEL BEAMS AND METAL ROOF ON A SLAB FOUNDATION. OVER THE YEARS THE FOUNDATION HAS SETTLED AND IS APPROXIMATELY 18" OUT OF LEVEL FROM HIGH TO LOW. IN ADDITION IT IS BADLY CRACKED AND HAS FAILED.

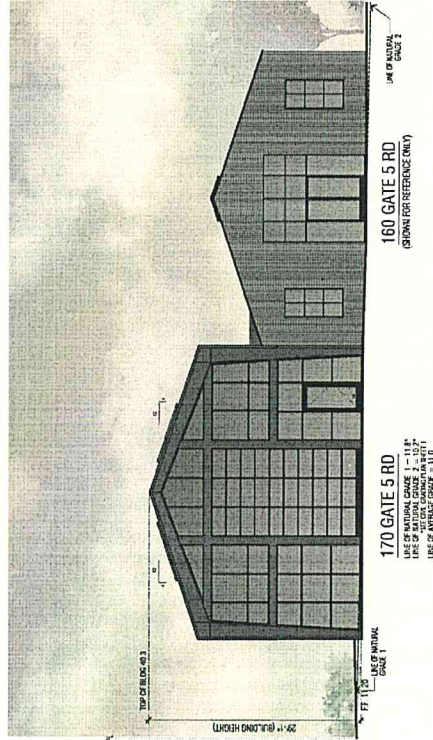
THE APPLICANT PROPOSES TO REPLACE THE 40-FT-TALL METAL STRUCTURE WITH A LIKE NEW 30-FT-TALL STRUCTURE ON A NEW STRUCTURAL FLAT FOOTING ON ENGINEERED NOT TO CRACK IN ADDITION TO THE HIGH-STRUCTURAL INTEGRITY OF THE NEW SLAS. THE THICKNESS WILL ELLEVATE THE FINISHED FLOOR OF THE STRUCTURE ABOVE THE 100 YEAR FLOOD FLOOR LEVEL TO 11.2 FEET (100 YEAR FLOOD IS AT 10 FEET). THE SEDING WILL BE REPLACED AND THE METAL ROOF BE SUPPLISHED WITH WITH NEW MATERIAL. SMALLER ROOF PANELS TO BE USED TO MATCH THE EXISTING PANELS. THE COLORS WILL VARY FROM ONE COLOR TO ANOTHER AND TO MATCH THE EXISTING COLORS. THE MAIN DIFFERENCE IS THE INCREASED MAXIMUM BUILDING HEIGHT (100 FT) OVER THE EXISTING BUILDING HEIGHT (70 FT). THE COLORS, THE MAIN DIFFERENCE IS THE INCREASED MAXIMUM BUILDING HEIGHT (100 FT) OVER THE EXISTING BUILDING HEIGHT (70 FT). THE SETBACKS WILL RAISE THE ROOF LEVELLING OF THE BUILDING FROM THE FLOOD OF THE NEW SLAS WILL RAISE THE ROOF APPROXIMATELY 3 FEET FROM THE FLOOD OF 180 GALS 5 HOURS.

THE ENTRY WILL VARY FROM 160 GATE 5 ROAD WITH A 12'X20' GLAZED SECTIONAL ROLL-UP DOOR. CENTERED WITH INSET 24"X10" DOORS ON THE RIGHT SIDE OF THE ROLL-UP DOOR. WINDOWS WILL BE THE SAME AS 160 GATE 5 ROAD AND BE DARK (BLACK) STEEL FRAMES. THE WESTERN SIDE OF THE BUILDING IS SET BACK APPROXIMATELY 15 FEET FROM THE PROPERTY LINE WHICH WILL BE LANDSCAPED AS WILL THE REAR OF THE BUILDING AT APPROXIMATELY 15 FEET SETBACK. THE BUILDING WILL BE FULLY SPRINKLERED FOR THE OCCUPANCY LOAD AND WILL BE FULLY ADA COMPLIANT.

A0	TITLE SHEET
A1	EXISTING CONDITIONS PHOTOGRAPHS
A2	EXISTING SITE MAP AND PROPOSED SITE MAP
A3	CONSTRUCTION STAGING SITE MAP
A4	EXISTING FLOOR PLAN & CEILING PLAN
A5	PROPOSED FLOOR PLAN & ROOF PLAN
A6	EXISTING & PROPOSED BUILDING SECTIONS
A7	PROPOSED EXTERIOR ELEVATIONS
A8	EXISTING PROPOSED EXTERIOR ELEVATIONS
A9	STORY FLOOR PLAN
A10	FUTURE AND CURRENT FLOOD LEVELS
A11	PERSPECTIVE RENDERINGS
A12	SEA LEVEL RISE ADAPTATION EXHIBIT
A13	SEA LEVEL RISE ADAPTATION EXHIBIT
A14	SEA LEVEL RISE ADAPTATION EXHIBIT



MORGAN
PROPERTIES, INC.
2658 Bridgeway, Suite 100
Sausalito, CA



DESIGN REVIEW APPLICATION

170 GATE 5 ROAD
SAUSALITO, CALIFORNIA

APN 063-152-07

2000
 1999
 1998
 1997
 1996
 1995
 1994
 1993
 1992
 1991
 1990
 1989
 1988
 1987
 1986
 1985
 1984
 1983
 1982
 1981
 1980
 1979
 1978
 1977
 1976
 1975
 1974
 1973
 1972
 1971
 1970
 1969
 1968
 1967
 1966
 1965
 1964
 1963
 1962
 1961
 1960
 1959
 1958
 1957
 1956
 1955
 1954
 1953
 1952
 1951
 1950
 1949
 1948
 1947
 1946
 1945
 1944
 1943
 1942
 1941
 1940
 1939
 1938
 1937
 1936
 1935
 1934
 1933
 1932
 1931
 1930
 1929
 1928
 1927
 1926
 1925
 1924
 1923
 1922
 1921
 1920
 1919
 1918
 1917
 1916
 1915
 1914
 1913
 1912
 1911
 1910
 1909
 1908
 1907
 1906
 1905
 1904
 1903
 1902
 1901
 1900

APN: 063-152-07
SAUSALITO, CA

OWNER:	MORGAN PROPERTIES 150 GATE 5 ROAD, SUITE 100 SAUSALITO, CA 94065 (415) 315-3179
ADDRESS:	175 GATE 5 ROAD SAUSALITO, CA
OCCUPANCY:	EXISTING: 44.8 PROPOSED: 8
CONSTRUCTION TYPE:	TYPE-10 BUILDING TO BE EQUIPPED WITH FIRE SPRINKLERS
PARKING:	19 PARKING SPACES ON SITE 17 PARKING SPACES THROUGH EASEMENT FROM THE ADJACENT LOT 100 (SHEET 10) 3 TOTAL PARKING SPACES

PROJECT SUMMARY TABLE

PROJECT ADDRESS	170 GATE 5 ROAD
NO OF STORIES	SINGLE STORY
BLDG. AREA	3,207 S.F.

[illegible]

RECIEVED 7/14/2023

© 2023 WILLIAM HEZMALHALCH ARCHITECTS, INC. DBA WHA. | 2021061 | 05-22-23

THE
WORLD'S
LARGEST
BOOKSTORE

170 Gate 5 Road



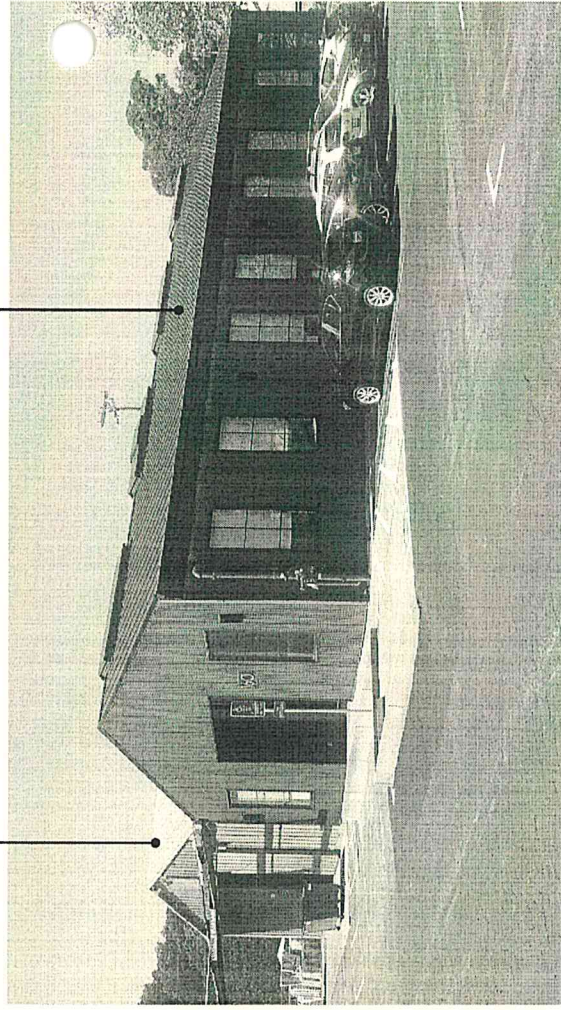
160 Gate 5 Road



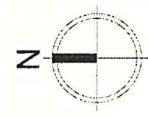
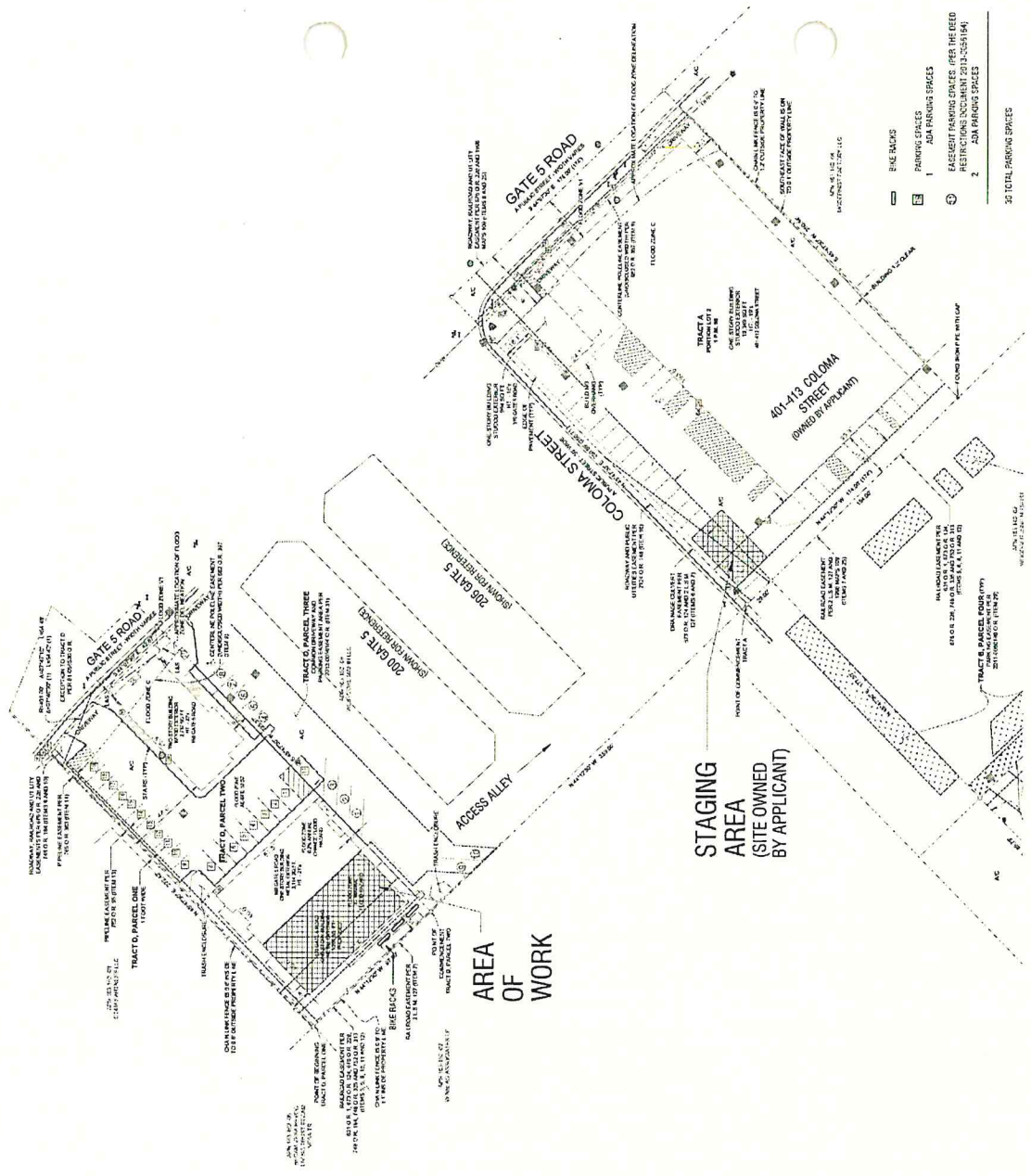
170 Gate 5 Road



160 Gate 5 Road



Existing Condition Photographs



CONSTRUCTION STAGING SITE PLAN

170 GATE 5 ROAD

A3

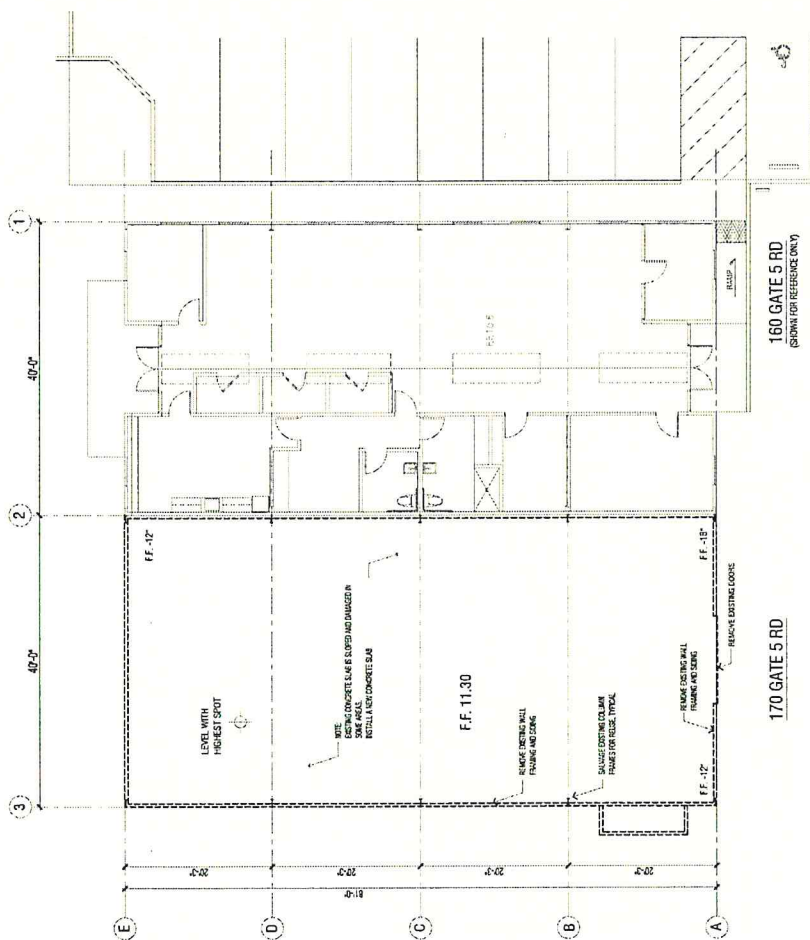


MORGAN PROPERTIES INC
2658 Bridgeway, Suite 100
Sausalito, CA

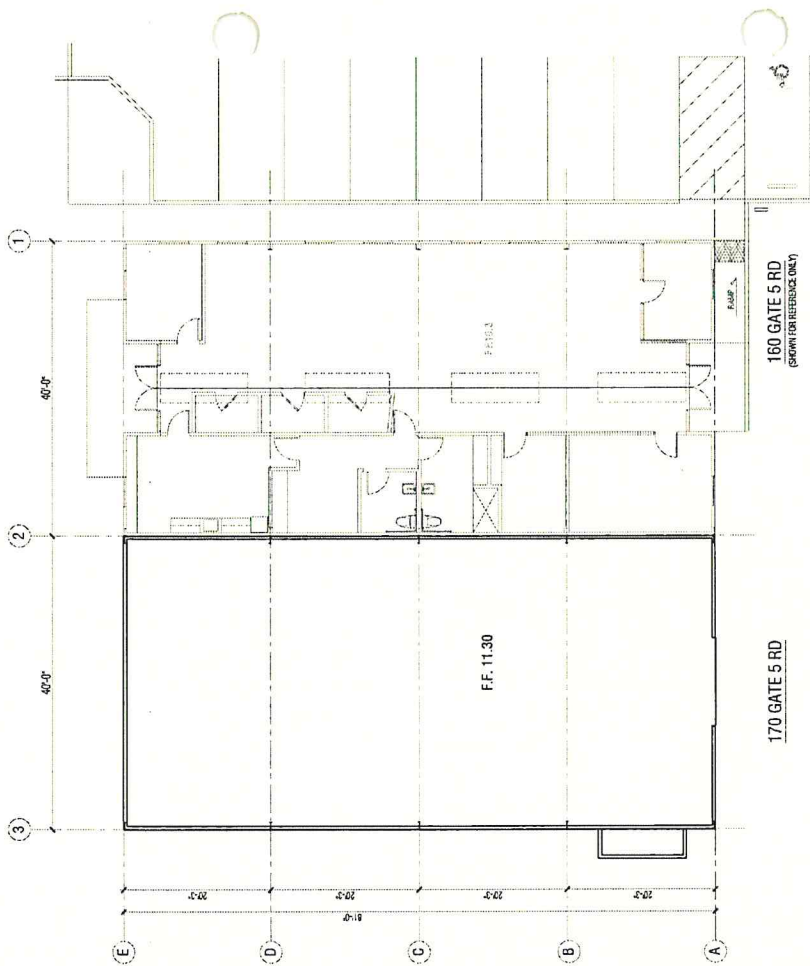
APN: 063-152-07
SAUSALITO, CA

2023 WILLIAM HEDZALHALCH ARCHITECTS, INC. DBA WHA | 2021061 | 06-22-23

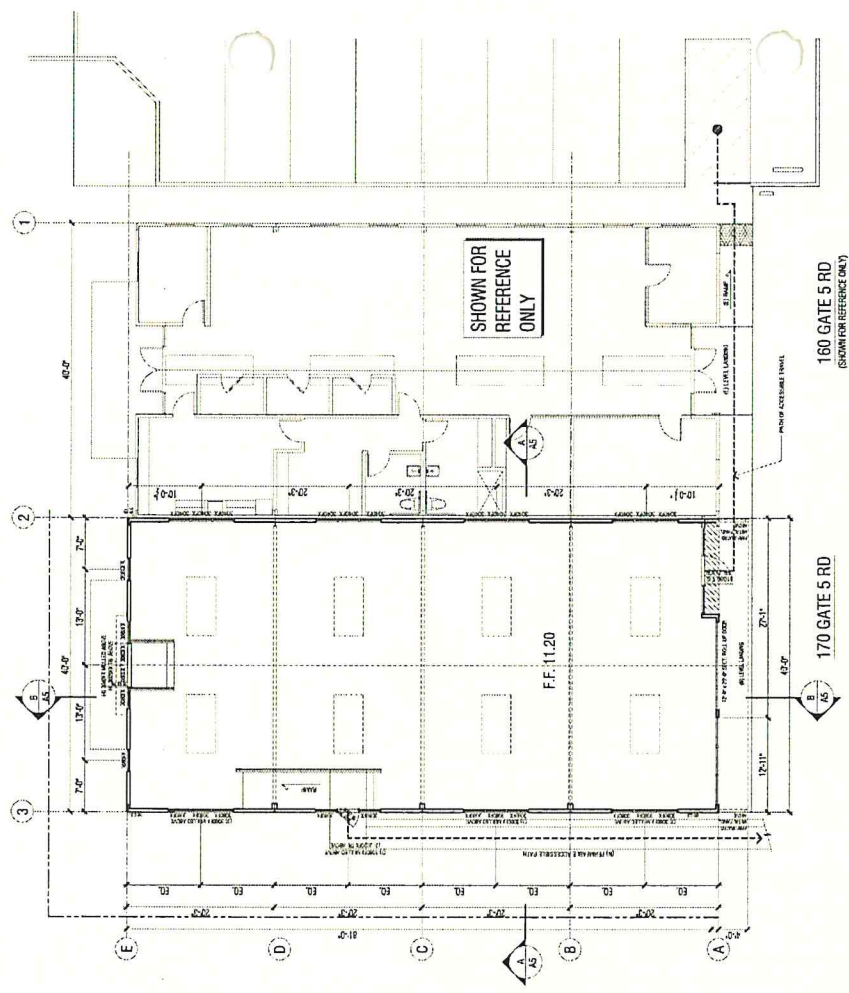
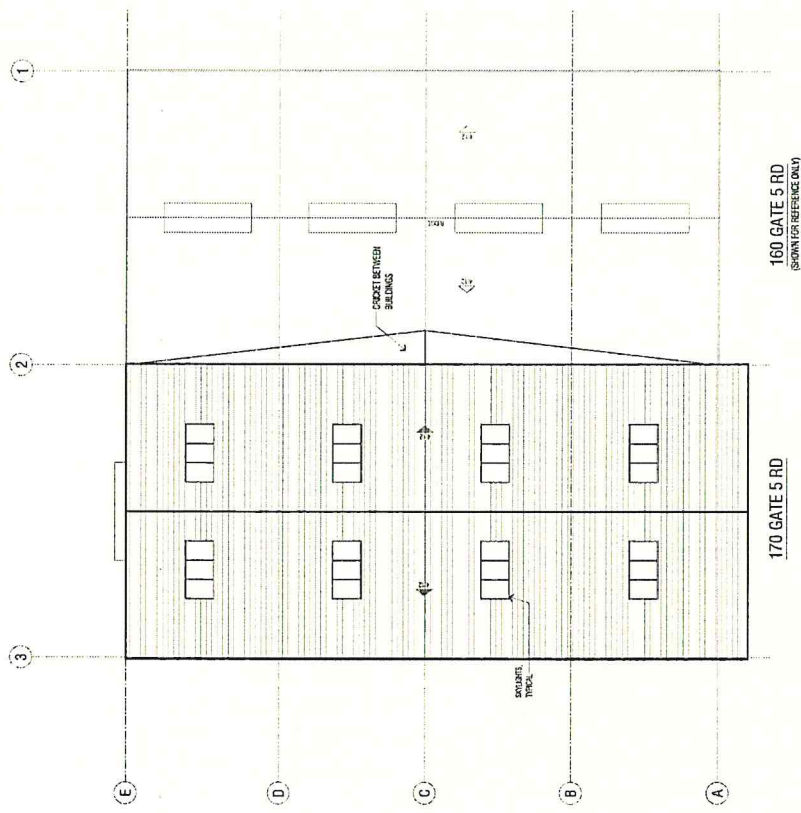
TRAFFICWAY EXCHANGES: PARKING, STAGING



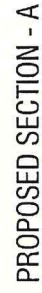
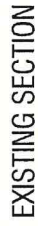
DEMOLITION PLAN



EXISTING FLOOR PLAN



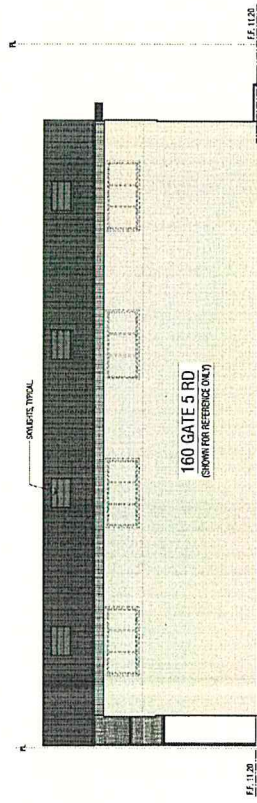
3,207 S.F.



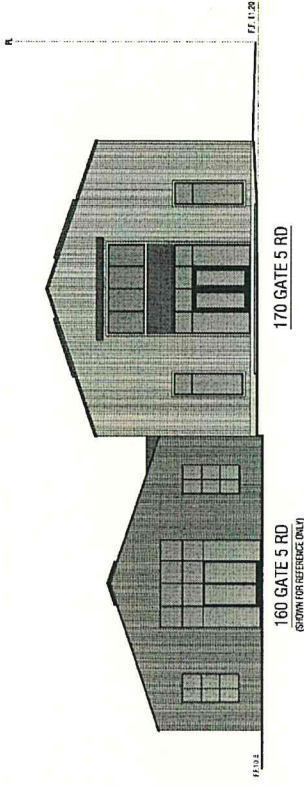
70 GATE 5 ROAD

[illegible]

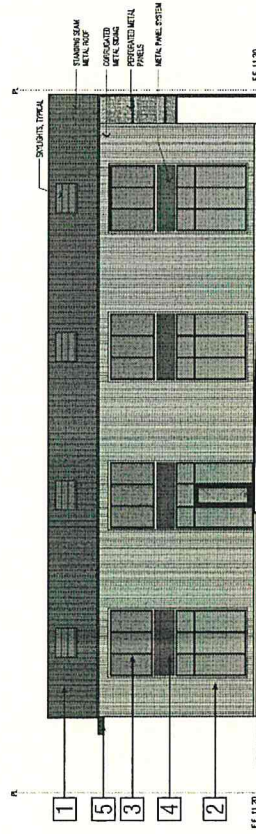
2023 WILLIAM HEZMAUHALOH ARCHITECTS, INC. DBA WHA. | 2021061 | 06-22-23



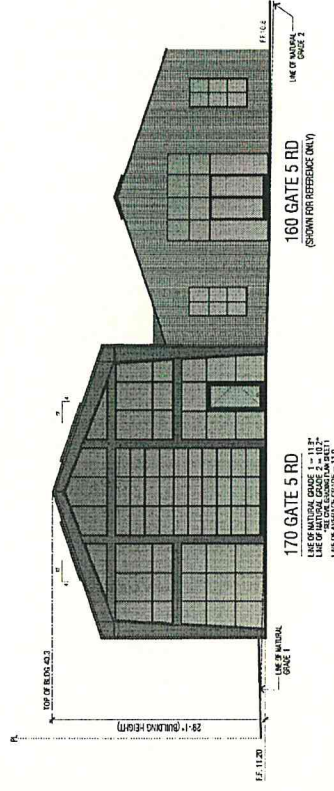
Right



Rear



Left



Front

EXTERIOR COLORS & MATERIALS:

1. Metal Roofing: Taylor Metals (or similar); Dark Bronze
2. Metal Siding: Taylor Metals (or similar); Metallic Silver
3. Windows & Doors: Vinyl; Milgard (or similar); Bronze
4. Metal Panel: Taylor Metals (or similar); Black
5. Awning: Taylor Metals (or similar); Black

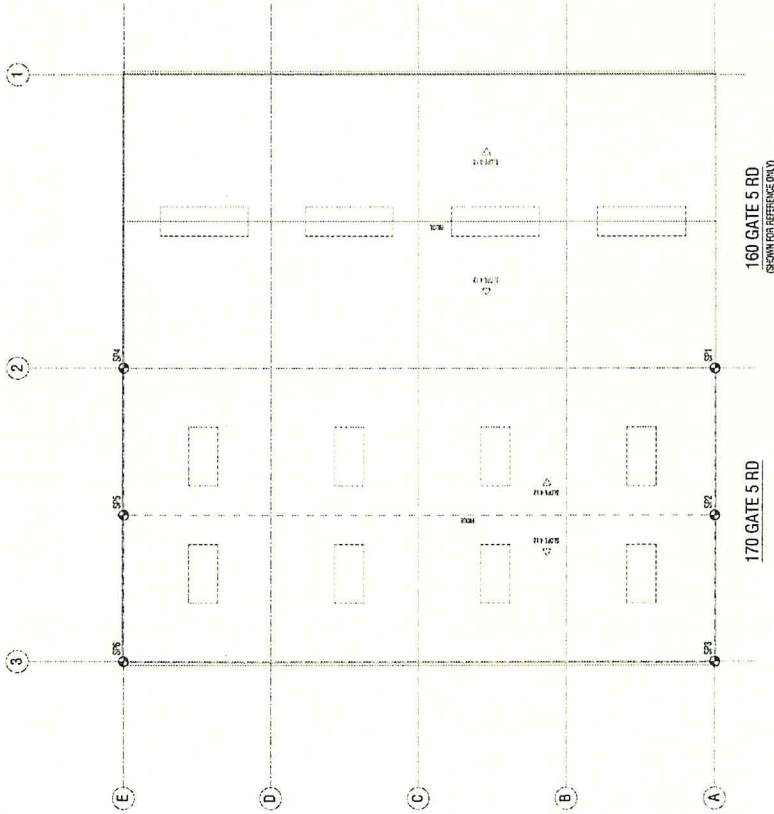
PROPOSED EXTERIOR ELEVATIONS

STORY POLE HEIGHTS	
STORY POLE #	STORY POLE HEIGHT (FEET)
SP1, SP3, SP4 & SP6	22.4
SP2 & SP5	29.1

THE STORY POLE HEIGHT MEASURES THE LINEAR LENGTH OF THE POLE FROM THE FINISH FLOOR OF THE BUILDING TO THE HIGHEST POINT OF THE EXTERIOR ELEVATION.

LEGEND	
SP #	STORY POLE & ASSIGNED NUMBER
---	TAPE - SEE NOTE 3 & 4

NOTES	
1.	STORY POLES SHALL BE INSTALLED WHERE THERE IS ANY CHANGE IN BUILDING FOOTPRINT, ROOF ELEVATION, OR BUILDING BULK.
2.	STORY POLES SHALL BE CENTERED BY A REGISTERED LAND SURVEYOR OR CIVIL ENGINEER.
3.	THE INSTALLED STORY POLES SHALL BE CONNECTED BY A ROOF OR FLOOR FINISH LINE. THE ROOF OR FLOOR FINISH LINE SHALL INCLUDE ROOF LINES CONNECTING TO EACH BUILDING CORNER AT FINISH ROOF ELEVATION, APPROPRIATES SUCH AS DORMERS, BAYS, AND JACKS NEED NOT BE SHOWN UNLESS, IN THE OPINION OF THE ENGINEER, THEY ARE NECESSARY TO SHOW NEIGHBORING PROPERTIES. STORY POLES AT DECK LOCATIONS SHALL EXTEND TO THE TOP OF RAILINGS.
4.	THE STORY POLE PLAN SHALL SHOW THE LOCATION OF THE CONNECTING TAPE AND RESPECTIVE ELEVATIONS.
5.	STORY POLES SHALL BE INSTALLED AT LEAST 10 DAYS BEFORE A NOTICED PUBLIC HEARING ON THE APPLICATION AND BE REMOVED FROM THE SITE AFTER A FINAL APPROVAL ON DENIAL OF THE APPLICATION.
6.	THE STORY POLES SHALL BE MARKED IN ONE (1) FOOT INCHMENTS.



STORY POLE PLAN

170 GATE 5 ROAD

APN: 063-152-07
SAUSALITO, CA

A9

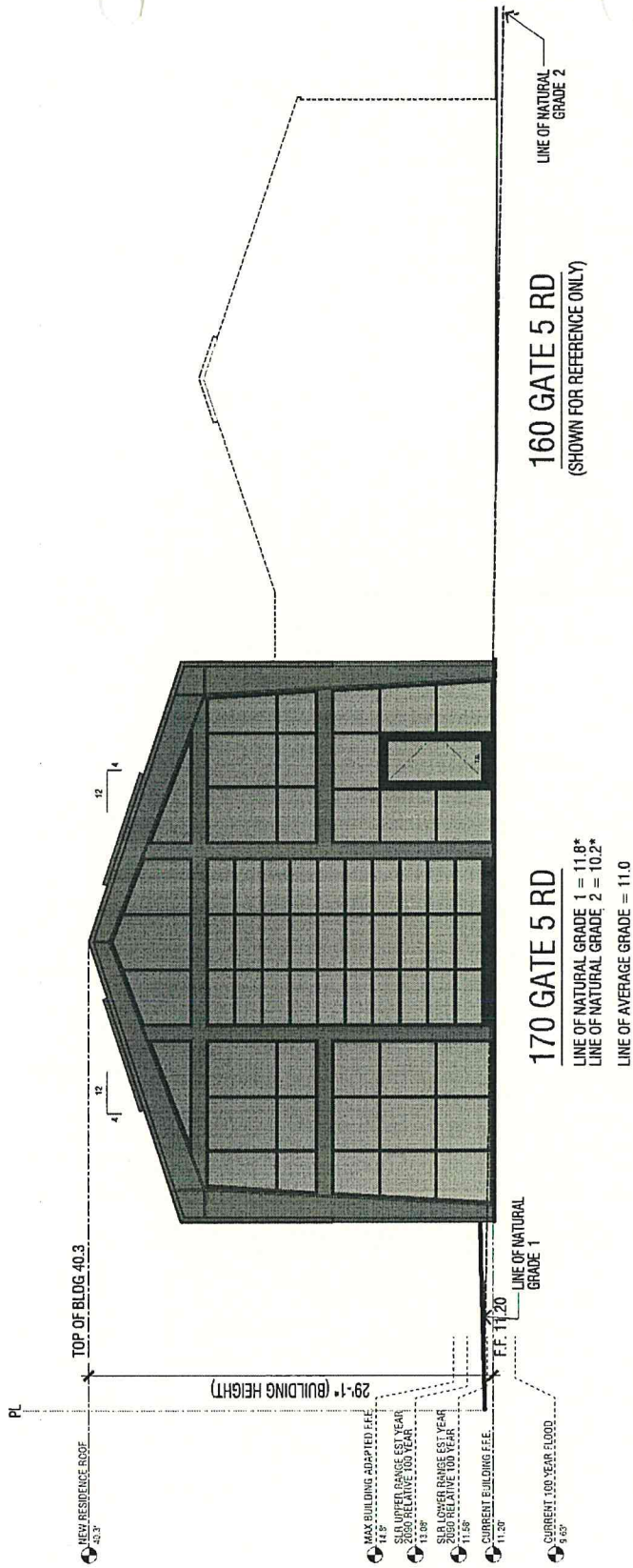


3000 E 10TH ST, FARMHOUSE, OAKLAND, CA 94612

WHA

© 2023 WILLIAM HEDZMALACH ARCHITECTS, INC. DBA WHA. | 2021051 | 06-22-23

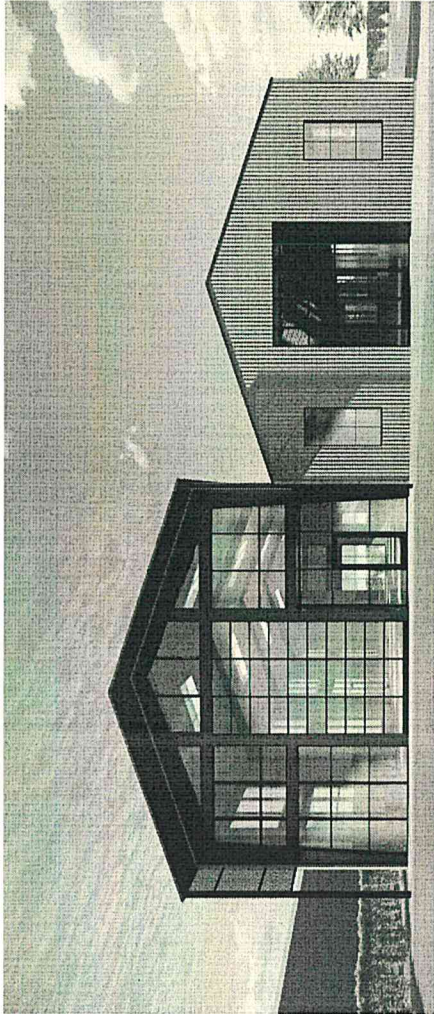
MORGAN
2658 Bridgeway, Suite 100
Sausalito, CA



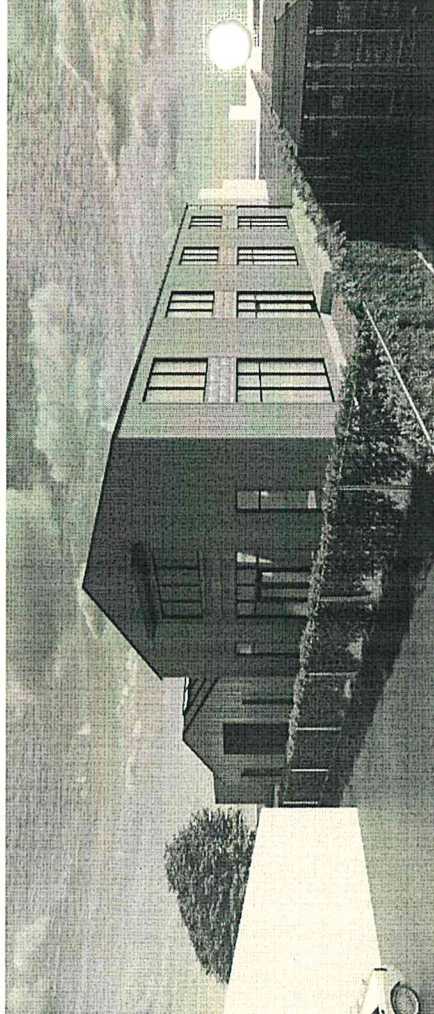
NOTE: FUTURE WATER LEVELS INCLUDED PREDICTED SUBSIDENCE AND SETTLEMENT OF 0.56FT

Front

FUTURE AND CURRENT FLOOD LEVELS



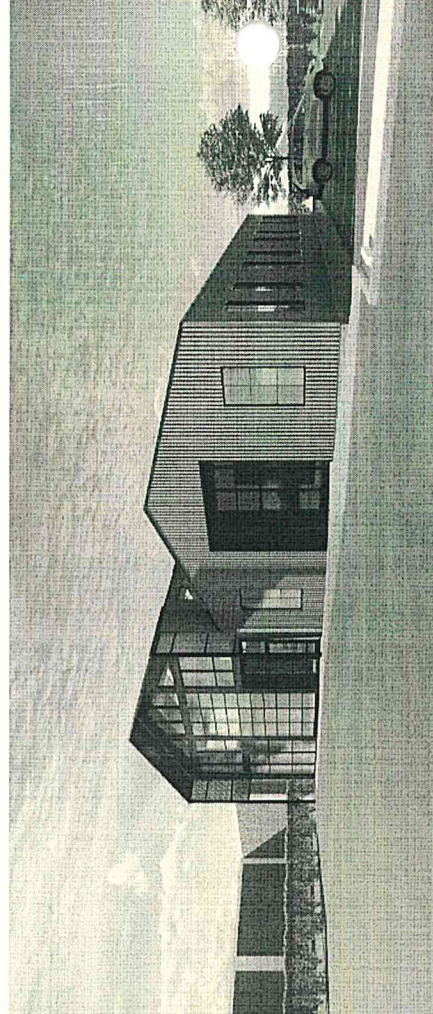
FRONT



REAR



FRONT LEFT



FRONT RIGHT

RENDERINGS
170 GATE 5 ROAD

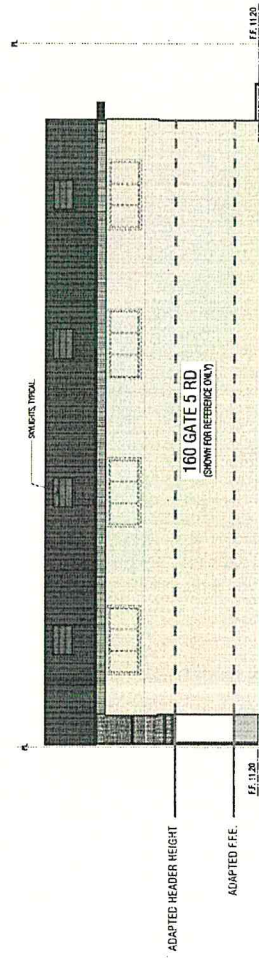
A11

ARCHITECTURE
WHA
WILLIAM HEDZMA-HALCH ARCHITECTS, INC. DBA WHA

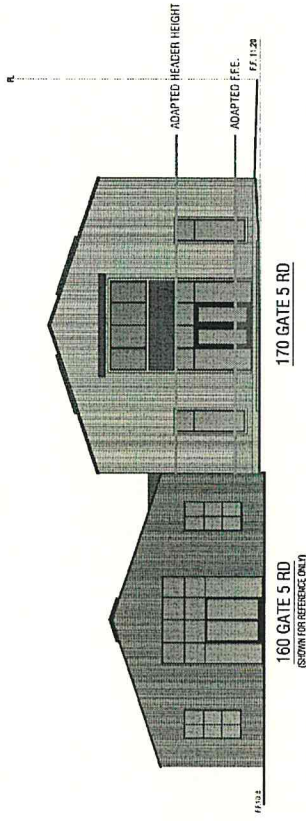
MORGAN
PROPERTIES, INC.
2658 Bridgeway, Suite 100
Sausalito, CA

APN: 063-152-07
SAUSALITO, CA

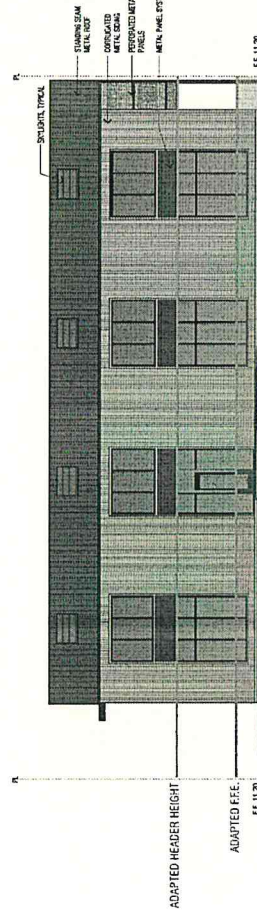
© 2023 WILLIAM HEDZMA-HALCH ARCHITECTS, INC. DBA WHA | 2023001 | 06-22-23



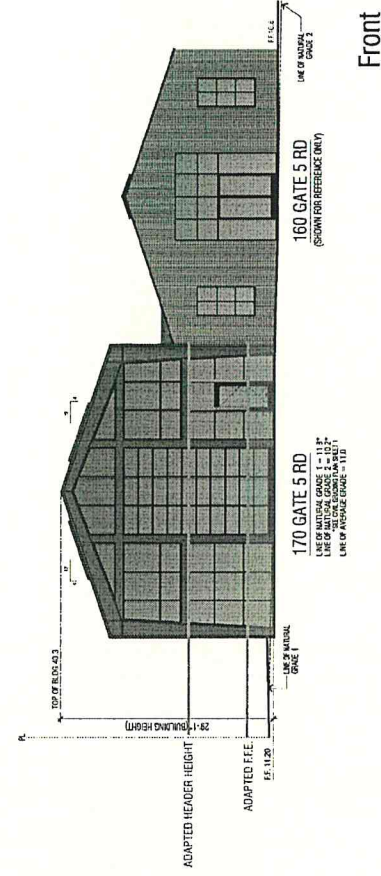
Right



Rear



Left



Front

SEA LEVEL RISE ADAPTION EXHIBIT



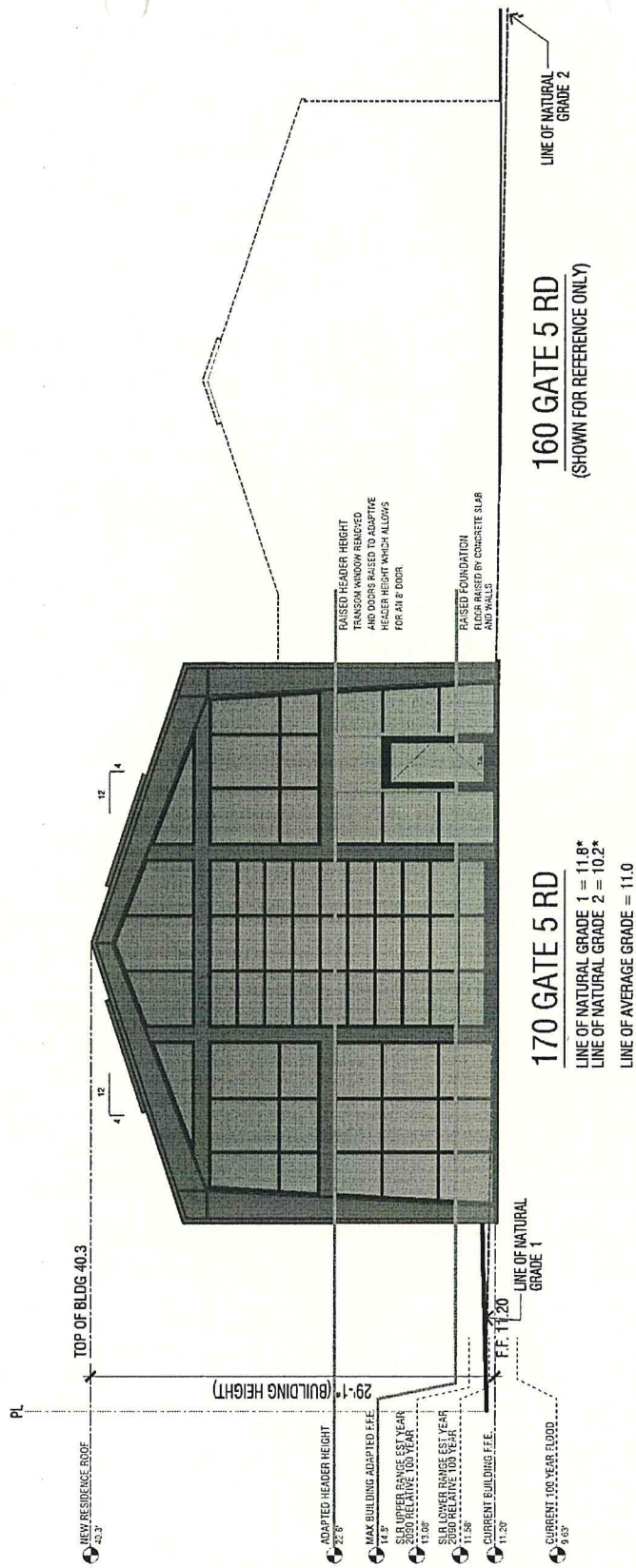
20402021021102120213021402150216021702180219022002210222022302240225022602270228022902300231023202330234023502360237023802390240024102420243024402450246024702480249025002510252025302540255025602570258025902600261026202630264026502660267026802690270027102720273027402750276027702780279028002810282028302840285028602870288028902900291029202930294029502960297029802990300030103020303030403050306030703080309031003110312031303140315031603170318031903200321032203230324032503260327032803290330033103320333033403350336033703380339034003410342034303440345034603470348034903500351035203530354035503560357035803590360036103620363036403650366036703680369037003710372037303740375037603770378037903800381038203830384038503860387038803890390039103920393039403950396039703980399040004010402040304040405040604070408040904100411041204130414041504160417041804190420042104220423042404250426042704280429043004310432043304340435043604370438043904400441044204430444044504460447044804490450045104520453045404550456045704580459046004610462046304640465046604670468046904700471047204730474047504760477047804790480048104820483048404850486048704880489049004910492049304940495049604970498049905000501050205030504050505060507050805090510051105120513051405150516051705180519052005210522052305240525052605270528052905300531053205330534053505360537053805390540054105420543054405450546054705480549055005510552055305540555055605570558055905600561056205630564056505660567056805690570057105720573057405750576057705780579058005810582058305840585058605870588058905900591059205930594059505960597059805990600060106020603060406050606060706080609061006110612061306140615061606170618061906200621062206230624062506260627062806290630063106320633063406350636063706380639064006410642064306440645064606470648064906500651065206530654065506560657065806590660066106620663066406650666066706680669067006710672067306740675067606770678067906800681068206830684068506860687068806890690069106920693069406950696069706980699070007010702070307040705070607070708070907100711071207130714071507160717071807190720072107220723072407250726072707280729073007310732073307340735073607370738073907400741074207430744074507460747074807490750075107520753075407550756075707580759076007610762076307640765076607670768076907700771077207730774077507760777077807790780078107820783078407850786078707880789079007910792079307940795079607970798079908000801080208030804080508060807080808090810081108120813081408150816081708180819082008210822082308240825082608270828082908300831083208330834083508360837083808390840084108420843084408450846084708480849085008510852085308540855085608570858085908600861086208630864086508660867086808690870087108720873087408750876087708780879088008810882088308840885088608870888088908900891089208930894089508960897089808990900090109020903090409050906090709080909091009110912091309140915091609170918091909200921092209230924092509260927092809290930093109320933093409350936093709380939094009410942094309440945094609470948094909500951095209530954095509560957095809590960096109620963096409650966096709680969097009710972097309740975097609770978097909800981098209830984098509860987098809890990099109920993099409950996099709980999100001001010020100301004010050100601007010080100901010010110101201013010140101501016010170101801019010200102101022010230102401025010260102701028010290103001031010320103301034010350103601037010380103901040010410104201043010440104501046010470104801049010500105101052010530105401055010560105701058010590106001061010620106301064010650106601067010680106901070010710107201073010740107501076010770107801079010800108101082010830108401085010860108701088010890109001091010920109301094010950109601097010980109901100011010110201103011040110501106011070110801109011100111101112011130111401115011160111701118011190112001121011220112301124011250112601127011280112901130011310113201133011340113501136011370113801139011400114101142011430114401145011460114701148011490115001151011520115301154011550115601157011580115901160011610116201163011640116501166011670116801169011700117101172011730117401175011760117701178011790118001181011820118301184011850

APN: 063-152-07
SAUSALITO, CA

A7-SLR

2023 WILLIAM HEZMALHALCH ARCHITECTS, INC. DBA WHA. | 2021061 | 05-26-23

WHA

SEA LEVEL RISE ADAPTION EXHIBIT

170 GATE 5 ROAD

APN: 063-152-07
SAUSALITO, CA

A10-SLR

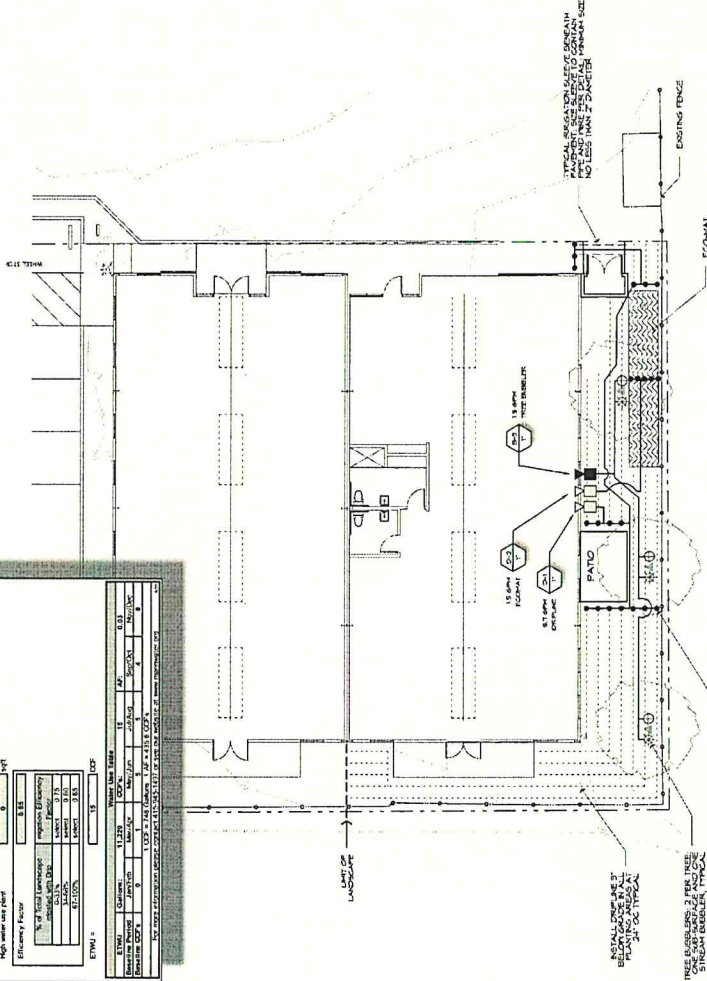
2023 WILLIAM HEZMALHALCH ARCHITECTS, INC. OSA WHA. | 2021051 | 05-26-23

2001-2002, 2002-2003, 2003-2004

2017年12月15日 星期五

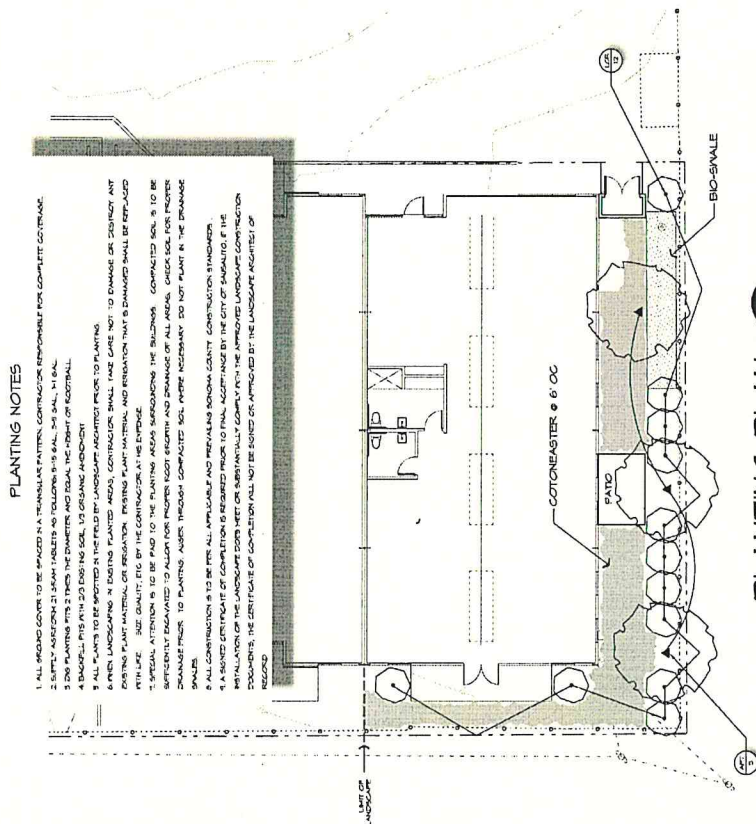
MORGAN
PROPERTIES INC.
2658 Bridgeway, Suite 100
Sausalito, CA

2658 Bridgeway, Suite 100
Sausalito, CA

[illegible][illegible]

U.S.A. NOTE

IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO BE FAMILIAR WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, STRUCTURES, AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL EXERCISE EXTREME CARE AND BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING AND WORKING NEAR UTILITIES. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE OTHER SUB-CONTRACTORS FOR THE LOCATION OF UTILITIES AND THE INSTALLATION OF PIPE SERVICES THROUGH WALLS, UNDER ROADWAYS, AND NEAR STRUCTURES. PRIOR TO CONSTRUCTION, CONTACT ALL NEARBY UTILITIES AND AGENCIES. U.S.A.T. 1-800-642-5244 OR 1-812-227-2000 FOR FURTHER INFORMATION.



2005

[illegible]

1. ALL LATERS TO BE SCH 40 PVC.

3. MAXIMUM FRICTION LOSS THROUGH ANY SECTION OF PIPE SHALL NOT EXCEED 9' PER SECOND.
4. MINIMUM OPERATING PRESSURE SHALL BE 25 PSI AT THE SPRINKLER HEAD AND 50 PSI FOR ROTORS.
5. MAX FLOW FOR LATERALS AS FOLLOWS:

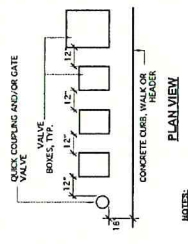
1" SCH 40 PVC: 3.5 GPM	2" SCH 40 PVC: 45 GPM
1 1/4" SCH 40 PVC: 17.5 GPM	2 1/2" SCH 40 PVC: 27 GPM
1 1/2" SCH 40 PVC: 27 GPM	
6. MAX FLOW FOR LATERALS AS FOLLOWS:

1" SCH 40 PVC: 3.5 GPM	2" SCH 40 PVC: 45 GPM
1 1/4" SCH 40 PVC: 17.5 GPM	2 1/2" SCH 40 PVC: 27 GPM
1 1/2" SCH 40 PVC: 27 GPM	
7. ALL MAINLINE TO BE 1" IN SIZE UNLESS OTHERWISE INDICATED. ELEVATION CHANGE AS SHOWN.

SUPPLEMENTAL TEMPORARY IRRIGATION

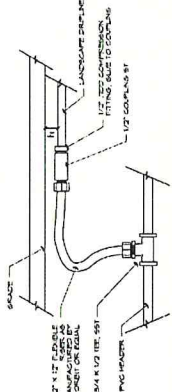
[illegible]

RECEIVED 7/14/2023



NOTE:
 1) CENTER VALVE BOX OR VALVE ASSEMBLY SHALL BE INSTALLED IN GRASSY OR SHADY AREAS WHEN POSSIBLE.
 2) VALVE BOXES SHALL BE 12\"/>

VALVE BOX LAYOUT

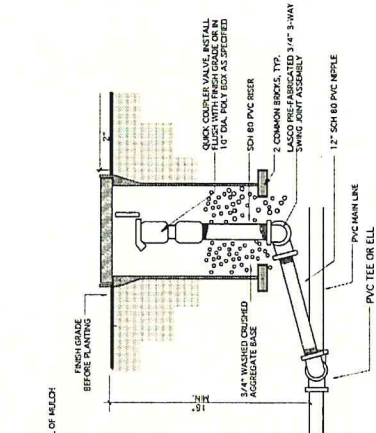


POLY TO PVC COMPRESSION FITTING DETAIL

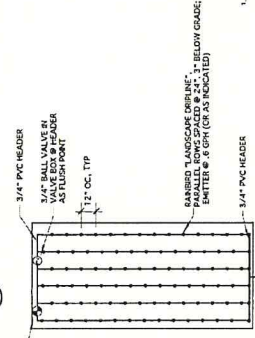
IRRIGATION NOTES

1. ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FLOW DIRECTION OF THE AREA TO BE IRRIGATED UNLESS OTHERWISE NOTED ON THE PLANS.
2. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MAINTAIN A MINIMUM OF 1 PSI PRESSURE AT THE FURROWS AND THE MAIN LINE FROM THE MAIN LINE TO THE FURROWS.
3. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MAINTAIN A MINIMUM OF 1 PSI PRESSURE AT THE FURROWS AND THE MAIN LINE FROM THE MAIN LINE TO THE FURROWS.
4. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MAINTAIN A MINIMUM OF 1 PSI PRESSURE AT THE FURROWS AND THE MAIN LINE FROM THE MAIN LINE TO THE FURROWS.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MAINTAIN A MINIMUM OF 1 PSI PRESSURE AT THE FURROWS AND THE MAIN LINE FROM THE MAIN LINE TO THE FURROWS.
6. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MAINTAIN A MINIMUM OF 1 PSI PRESSURE AT THE FURROWS AND THE MAIN LINE FROM THE MAIN LINE TO THE FURROWS.
7. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MAINTAIN A MINIMUM OF 1 PSI PRESSURE AT THE FURROWS AND THE MAIN LINE FROM THE MAIN LINE TO THE FURROWS.
8. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MAINTAIN A MINIMUM OF 1 PSI PRESSURE AT THE FURROWS AND THE MAIN LINE FROM THE MAIN LINE TO THE FURROWS.
9. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MAINTAIN A MINIMUM OF 1 PSI PRESSURE AT THE FURROWS AND THE MAIN LINE FROM THE MAIN LINE TO THE FURROWS.
10. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MAINTAIN A MINIMUM OF 1 PSI PRESSURE AT THE FURROWS AND THE MAIN LINE FROM THE MAIN LINE TO THE FURROWS.
11. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MAINTAIN A MINIMUM OF 1 PSI PRESSURE AT THE FURROWS AND THE MAIN LINE FROM THE MAIN LINE TO THE FURROWS.
12. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MAINTAIN A MINIMUM OF 1 PSI PRESSURE AT THE FURROWS AND THE MAIN LINE FROM THE MAIN LINE TO THE FURROWS.
13. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MAINTAIN A MINIMUM OF 1 PSI PRESSURE AT THE FURROWS AND THE MAIN LINE FROM THE MAIN LINE TO THE FURROWS.
14. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MAINTAIN A MINIMUM OF 1 PSI PRESSURE AT THE FURROWS AND THE MAIN LINE FROM THE MAIN LINE TO THE FURROWS.
15. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MAINTAIN A MINIMUM OF 1 PSI PRESSURE AT THE FURROWS AND THE MAIN LINE FROM THE MAIN LINE TO THE FURROWS.
16. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MAINTAIN A MINIMUM OF 1 PSI PRESSURE AT THE FURROWS AND THE MAIN LINE FROM THE MAIN LINE TO THE FURROWS.
17. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MAINTAIN A MINIMUM OF 1 PSI PRESSURE AT THE FURROWS AND THE MAIN LINE FROM THE MAIN LINE TO THE FURROWS.
18. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MAINTAIN A MINIMUM OF 1 PSI PRESSURE AT THE FURROWS AND THE MAIN LINE FROM THE MAIN LINE TO THE FURROWS.
19. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MAINTAIN A MINIMUM OF 1 PSI PRESSURE AT THE FURROWS AND THE MAIN LINE FROM THE MAIN LINE TO THE FURROWS.
20. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MAINTAIN A MINIMUM OF 1 PSI PRESSURE AT THE FURROWS AND THE MAIN LINE FROM THE MAIN LINE TO THE FURROWS.

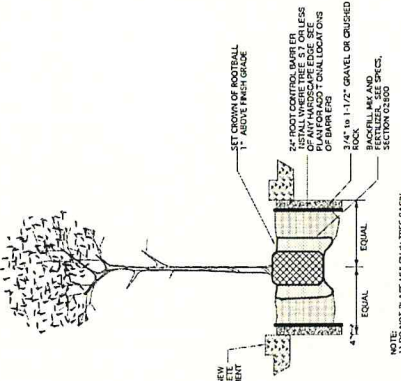
LANDSCAPE DETAILS



QUICK COUPLER DETAIL

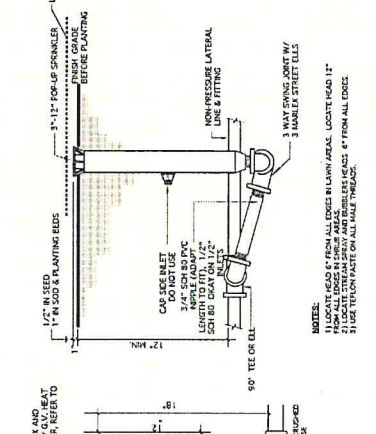


DRIP CIRCUIT LAYOUT

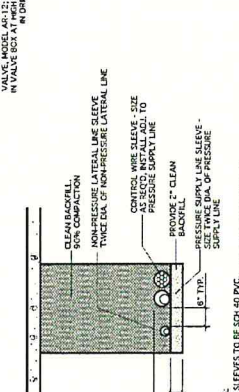


NOTE:
 1) 1/2\"/>

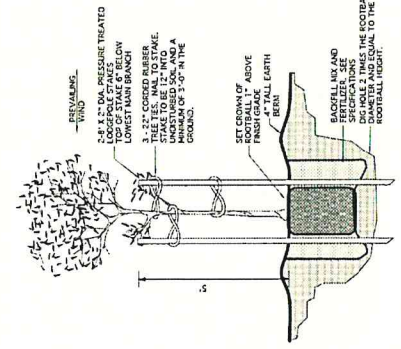
TREE WELL WITH ROOT BARRIER



POP-UP SPRINKLER DETAIL

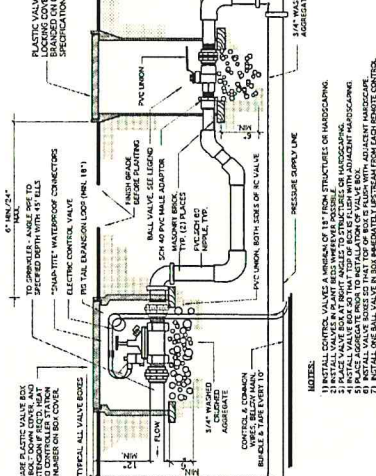


PIPE INSTALLATION UNDER PAVING

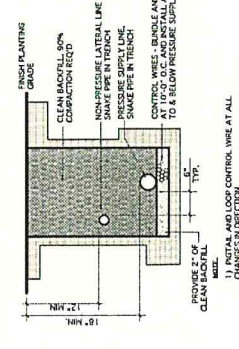


NOTE:
 1) DO NOT PLACE MANHOLE IN TREE BASIN.
 2) DO NOT ALLOW HOLES TO BE CUT FOR DRAINAGE PRIOR TO PLANTING. IF HOLES DO NOT DRAIN WITHIN 4 HOURS CONTACT
 3) INSTALL ROOT BARRIER ON ALL FOUR SIDES OF PLANTER.

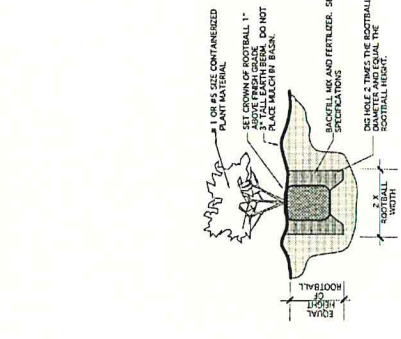
TREE PLANTING DETAIL



ELECTRIC CONTROL VALVE WITH SHUT OFF



PIPE INSTALLATION UNDER PLANTED AREA



NOTE:
 1) DO NOT PLACE MANHOLE IN TREE BASIN.
 2) DO NOT ALLOW HOLES TO BE CUT FOR DRAINAGE PRIOR TO PLANTING. IF HOLES DO NOT DRAIN WITHIN 4 HOURS CONTACT
 3) INSTALL ROOT BARRIER ON ALL FOUR SIDES OF PLANTER.

SHRUB PLANTING DETAIL

[illegible]